

Posted October 18, 2022
Time Posted: 5:00pm

**NOTICE AND AGENDA OF MEETING
PLANNING AND ZONING BOARD**

NOTICE IS HEREBY GIVEN THAT THE PLANNING AND ZONING BOARD OF THE CITY OF HAMILTON, MISSOURI WILL CONDUCT A MEETING AT **6:00PM** ON **Wednesday, October 19th, 2022** AT CITY HALL LOCATED AT 200 S. DAVIS ST. IN HAMILTON, MISSOURI.

THE TENTATIVE AGENDA OF THIS SPECIAL MEETING AND SUCH OTHER MATTERS MAY BE PRESENTED AND DETERMINED APPROPRIATE FOR DISCUSSION AT THE MEETING INCLUDE:

1. Call to Order
2. Approve Agenda
3. Review and Approve Minutes
4. Approve Absent Board Member (if necessary)
5. New Business
 - A. Conditional Use Permit - 308 E. School St
 - B. Building Permit - 308 E. School St.
6. Public Participation (5 min. Limit)
 - A. Ron Reed - 200 E. School St
7. Old Business
8. Nuisance Violations
9. Adjournment

Hamilton Planning & Zoning
July 6, 2022
Minutes of Meeting

Members in Attendance: Mayor Keith Gilbert, Secretary Mike Troster, Carl Edwards, City Administer Jon Nab and Colleen Hardy, and Cole Crawford

Audience: Bob Hughes, Joe Gibson, Georgia Nab

AGENDA:

- 1) Meeting called to order at 6:00 PM by Secretary Troster
- 2) Motion made by J. Nab and seconded by C. Crawford to amend agenda to add Mary Purcell; passed 6-0;
- 2a) Motion be K. Gilbert to approve the amended agenda; seconded by C. Hardy; Passed 6-0
- 3) Absent member(s); Annette Ashbach called and reported that she was on vacation; Kayla McFall had an emergency at work. Cole Crawford made the motion to approve their absences, seconded by K. Gilbert; passed 6-0
- 4) NEW BUSINESS:
 - A) Request for a building permit for a 26' X 40' garage at 401 & 405 S. Dudley owned by Jon and Georgia Nab. J. Nab being a member of this board left the room and Georgia Nab proceeded with the request. This request has the city council approval and after some discussion, K. Gilbert made the motion to approve the request; seconded by C. Crawford; passed 6-0
 - B) Mary Purcell of 216 N. California St filed a complaint on the property at 210 N. California stating that the yard hasn't been mowed and it was a huge eyesore. Board advised Mrs. Purcell that the owners of the property has had citation sent to them and have notified that something will be done to improve conditions.
- 5) NUISANCE VIOLATIONS:

Board did not receive a nuisance report for the Police department.

6) ADJOURNMENT:

J. Nab made the motion to adjourn, seconded by K. Gilbert; passed 6-0 at 6:35 pm.

A handwritten signature in black ink, reading "Mike Trosper, Sec." in a cursive style.

Mike Trosper, Secretary

CITY OF HAMILTON

Petition For Conditional Use Permit

Non-refundable fee: \$75.00

Date: 9/14/22

Petitioner

Name: Michele Nelsen

Phone: n/a
(Mobile)

Address: 617 E. Julie Dr.
Tempe, AZ 85283

(480) 775-0759
(Other)

Email: michele_nelsen@hotmail.com

In accordance to the provisions of Ordinance XIV, Section 14.30, the following petition for a conditional use permit is submitted for property located at (include legal description of property):

308 E. School St. Residential vacation home/Airbnb
Hamilton, MO 64644 Single story
Block construction house

Present zoning classification of property: A-1 R-1 R-2 C-1 I-1 M-H O-1 P/SP

Brief description of intended use of property: Airbnb and personal

Explain any special circumstances that justify this permit and why the granting of this permit will not materially injure other property or improvements in this neighborhood:

I want to build a nice partially ADA compatible house on the property for my vacation home and Airbnb, as well as fix up the out building that's already there. It will enhance the neighborhood.

Plans indicating proposed improvements or changes must be submitted for review to the Hamilton Planning and Zoning Board.

Michele A. Nelsen
(Signature of Owner(s))

9/14/22
(Date)

CITY OF HAMILTON USE ONLY

Received stamp:

(Signature of Owner(s))

(Date)

Conditional Use Permit Application

SW Corner of E School and S Johnson





MODEL No. H-2046R-C

model no.

H-2046R-C

General Notes

- It is imperative that the contractor observe manufacturers' instructions and procedures in installing all material and equipment. All instructions and warranties of all materials and equipment to be delivered to the owner at completion of construction.
- Layout:
It is recognized that the Contract Documents are diagrammatic in showing certain physical relationships of the various elements and systems and their interfacing with other elements and systems. Establishments and coordination of these relationships is the exclusive responsibility of the Contractor. Do not scale the drawings. Lay out and arrange all elements to carry the harmony of the design throughout the work. In case of conflict or locations not dimensioned, verify required position with Marshall Architecture.
- This project shall comply with all governing regulations, ordinances, or covenants of the project area in which it is built.
- Egress windows to have maximum sill height of 44", minimum vertical clear opening of 24", minimum horizontal opening of 20", and have a minimum of 5.7 square feet clear open area.
- Top of stair handrails to be 34" to 38" above the stair nosing and should be continuous the full length of stair run. Minimum headroom above the stair nosing to be 6'-8". Top of guardrails to be minimum 36" above finished floor. Open rail members to have less than 4" space between. Handrails to be minimum of 1-1/2", maximum of 2" in diameter, spaced a minimum of 1-1/2" from the face of wall.
- Tempered glazing required at the following locations:
 - Within 24" arc of a door.
 - Within 18" of a floor or 60" vertically of a bathtub drain.
 - Shower enclosures.
 - Within 36" horizontally of the standing surface of a bathtub or shower.
- Firestop all pocket doors, flues, and openings at the top of walls.
- Flash all exterior openings, wood trim members and roof/wall intersections with 26 gauge galvanized flashing material.
- All exterior doors and doors leading to unheated areas to be weather-stripped with threshold.
- Vent all exhaust fans to exterior. Provide rain caps with back draft dampers.
- Exhaust vent for clothes dryer to be installed per Section M502 IRC 2012 and manufacturers' installation instructions. Exhaust ducts shall not exceed a total combined horizontal and vertical length of 15 feet including two 90-degree elbows. Five feet shall be deducted for each 90 degree elbow in excess of two.
- Center water closets in space provided (minimum 15" from vertical surfaces at sides).
- Attic ventilation shall not be less than 1/300th of the attic area as a combination of a rooftop and soffit vents.
- Garage finish- All surfaces adjacent to habitable space to be insulated and finished with 5/8" type "X" gypsum board. All structural elements supporting structure above to be wrapped with 5/8" type "X" gypsum board, R-30 insulation in floor above. Garage to house door to be 1-3/8" solid core or a door having a fire rating of 20 minutes with spring closer hinges in a weather stripped frame with threshold.
- Exterior doors should open onto landing located not more than 1 1/2" below the top of the threshold of the door. Minimum length of the landing should not be less than 36".
- Deck framing members within 18" of exposed ground should be pressure treated or naturally decay resistant wood. Wood located nearer than 6" to the earth or in contact with concrete shall be pressure treated or naturally decay resistant.
- All exterior walls are to be 2x4's at 16" on center unless otherwise noted. Double top plate single bottom plate. All interior load bearing walls @ 16" O.C. All non bearing to be 24" O.C. U.O.N by engineer

WINDOW TYPES:

SH = HORIZONTAL SLIDER
 SH = SINGLE HUNG
 FX = FIXED FRAME
 FT = FIXED TRANSOM
 PS = PATIO SLIDER
 (T) = TEMPERED GLASS
 (CSMT) = CASEMENT

NOTE:
 ALL WINDOWS TO HAVE
 U-FACTOR OF .32 OR LESS

NOTE:
 ALL EGRESS WINDOWS TO HAVE
 A MINIMUM 5.7 SF. CLEAR OPENING.

WINDOW NOTES:

- SEE UNIT FLOOR PLANS FOR LOCATION OF ALL WINDOWS - COORDINATE WITH ELEVATIONS.
- CONTRACTOR TO VERIFY ALL WINDOW TYPES AND SIZES PRIOR TO FABRICATION
- (T) = TEMPERED GLAZING PER CODE. - CONTRACTOR TO FIELD VERIFY ALL CONDITIONS. SEE GENERAL NOTE #6.
- U.N.O. - ALL WINDOW HEADS @ 6'-10 1/2" AFF.
- 2660 SH by a window indicates a 2'-6" wide by 6'-0" high window, that is a single hung window.

DOOR TYPES:

SC-1 3/4" SOLID CORE ENTRY DOOR (RE: ELEVATIONS)
 - INTERIOR - 1 3/8" HOLLOW CORE, RAISED 6-PANEL, PAINTED
 BF - BI-PASS - HOLLOW CORE, RAISED 6-PANEL, PAINTED
 SER DR - 1 3/4" METAL, 20 MINUTE RATED, WITH CLOSER, FLUSH FINISH, PAINTED
 OH DR - SECTIONAL STEEL OVERHEAD DOOR, PAINTED
 BF - BI-FOLD - HOLLOW CORE, RAISED 6-PANEL, PAINTED
 PS - SLIDING GLASS DOOR

NOTE:
 ALL OPAQUE DOORS TO HAVE
 U-FACTOR OF .21 MAXIMUM

DOOR NOTES:

- AT DOOR FROM HOUSE TO GARAGE, PROVIDE SELF-CLOSER (DOOR SHALL BE SELF-CLOSING FROM THE 2/3RDS OPEN POSITION)
- PROVIDE DOOR STOPS AT ALL SLIDING DOORS
- PROVIDE FULL PERIMETER WEATHER STRIPPING AT ALL EXTERIOR DOORS
- CONTRACTOR TO VERIFY ALL DOOR TYPES AND SIZES & COORDINATE HARDWARE REQUIREMENTS WITH OWNER
- OPTIONAL DOOR
- 3068 by a door indicates a 3'-0" wide by 6'-8" high door.

ENERGY CODE:

PERFORMANCE BASED INSPECTION MUST COMPLY WITH CHAPTER 4 OF THE 2018 IECC

DESIGN LOADS:

These plans were designed to meet the external load conditions noted below.

	Dead Loads	Live Loads
Roof, with Composite Shingles	10 psf	30 psf
Floor	10 psf	40 psf
Exterior Decks	12 psf	60 psf
Ceiling (Space above ceilings where limited storage is possible, but additional room construction is not)	10 psf	20 psf
Wind	90 mph/exposure B	
Snow	30 psf ground	
Seismic	B	

FRAMING NOTES:

- FRAMING LUMBER:
 - ALL FRAMING LUMBER TO BE HEM-FIR LARCH #2 AND BETTER
 Fb=850/918 psi, Fv=75 psi, Fc=1250 psi, E=1,300,000 psi
 2x STUDS TO BE HEM-FIR LARCH "STUD" GRADE.
 Fb=675/750 psi, Fv= 75 psi, Fc=800 psi, E=1,200,000 psi
 - TJI'S AND "MICRO-LAMS" BY TRUS JOIST CORP. OR EQUIV.
 Fb=2,600 psi, Fv=285 psi, Fc=150 psi, E=1,800,000 psi
- ALL HEADERS TO BE 2-2x12 UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE MIN. 2-2x POST UNDER EACH END OF ALL BEAMS AND HEADERS UNLESS NOTED OTHERWISE ON PLAN.
- PROVIDE SOLID BLOCKING UNDER ALL POSTS 2-2x AND LARGER.
- SHEATH ALL EXTERIOR WALLS WITH 1/16" EXTERIOR GRADE O.S.B. NAIL O.S.B. SHEATHING W/8d NAILS AT 4" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE MEMBERS.
- PROVIDE SOLID 2x RIM JOIST AT END OF ALL FLOOR JOISTS WITH DIMENSION LUMBER FLR. JOISTS AND "TIMBERSTRAND" RIM JOIST AT ALL "TJI" FLOOR JOISTS U.N.O.
- ALL METAL CONNECTORS TO BE SIMPSON STRONG TIE OR EQUIVALENT.
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2x STUDS AT 24" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE U.N.O.
- ALL INTERIOR BEARING WALLS TO BE FRAMED WITH 2x STUDS AT 16" O.C. WITH DOUBLE TOP AND SINGLE BOTTOM PLATE U.N.O.
- GLUE AND NAIL ALL MULTIPLE MEMBERS 2-2x AND LARGER W/16d NAILS AT 6" O.C. FULLY BLOCK WEBS, GLUE AND NAIL ALL MULTIPLE "TJI" FLOOR JOISTS.

- ROOF SHEATHING TO BE MIN. 5/8" O.S.B. EXTERIOR GRADE SHEATHING AND FLOOR SHEATHING TO BE MIN. 3/4" T&G PLYWOOD GLUED AND NAILED.
- FRAMER RESPONSIBLE FOR MISSING HEATING AND PLUMBING RUNS.
- PROVIDE SIMPSON H25 OR EQUAL AT ALL TRUSS AND ROOF RAFTER BEARING LOCATIONS.
- ALL FRAMING TO BE IN CONFORMANCE WITH 2018 EDITION OF INTERNATIONAL RESIDENTIAL CODE.

Drawing Legend

Drawing Notes:

(1)

The number "1" refers to plan note 1. for further information regarding the area indicated.

Drawing Reference:

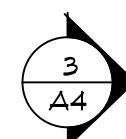
RE: 2 - A2 indicates refer to drawing 2 on sheet A2

Room Titles:

ROOM -room name
 h-o/cpt. -ceiling height/floor covering
 CPT = carpet
 LINO = sheet linoleum
 F.M.C. = Floor Material Change

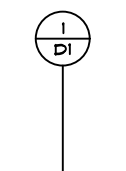
Section Marker:

shows location and direction of section



Detail Marker:

shows location and direction of detail



Interior Elevation Marker:

4 A1 2 -The letters around the outside indicates direction and the letter in the middle - indicates sheet

Sill Plate:

sill plate location



Slope:

indicates rise of 7" in 12" horizontal length



Building Codes

2018 IRC 2018 IPC
 2018 IECC
 2017 NEC
 2018 IMC

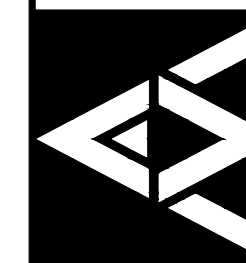
Sheet Index

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A2	2018 IRC Notes	09-30-19
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A4	Exterior Elevations	n/a
A5	Building Sections	n/a
A6	Crawl Space Floor Plan	n/a
A7	Details	n/a
A8	Air Barrier Details	n/a
A9	Optional Solar Details	n/a
A10	Framing Plans	n/a
A11	Electrical Floor Plan	n/a

Revision Date

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J.B.M.

checked by:

D.L.M.

date:

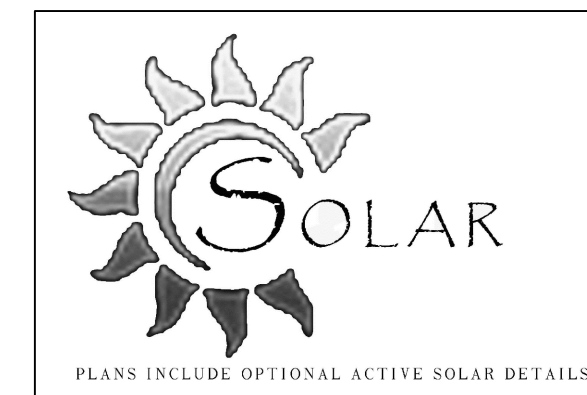
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sheet index:
 COVER SHEET

sheet no.

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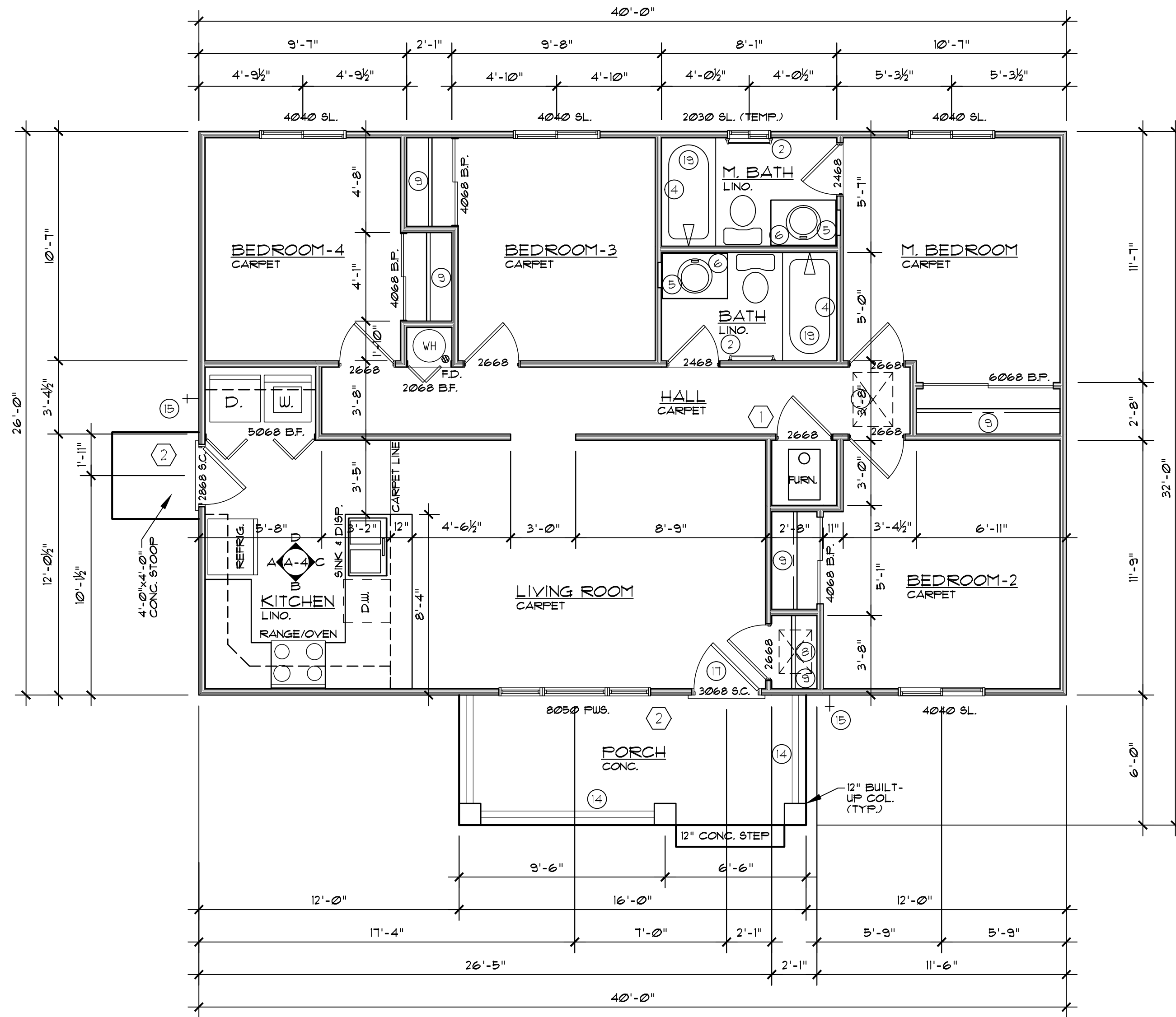


ARCHITECTURAL LEGEND

1. Provide 22"x30" attic access.
2. 24" towel bar.
3. Towel ring.
4. Soap and grab bar.
5. Recessed medicine cabinet.
6. Mirror.
7. 36"x36" shower receptor w/ tempered glass enclosure.
8. Provide 18"x24" c.s. access
9. One shelf and one rod.
10. One shelf and two rods 42" high and 40" between.
11. Linen closet - 5 shelves.
12. 34" high (min.) 38" high (max.) 1½" φ handrail.
13. 34" high (min.) 38" high (max.) 600 type grabrail w/ 2x2 balusters @ 4" o.c.
14. 36" high guardrail w/ 2x2 balusters @ 6" O.C.
15. Hose bibb.
16. 2x6 stud wall
17. Maximum vertical height measured from top of threshold of door to landing not to exceed 1½". Maximum threshold height at door to interior landing not to exceed 1".
18. Door between house and garage to be 1¾" minimum. Changes in elevations at doors due to landings or termination of stairs, to be measured from top of door threshold.
19. Provide water-resistive type gyp. bd. @ bath walls at tub & shower locations.

GENERAL NOTES

1. Provide 1" minimum clearance around furnace flue.
 2. Install an impervious membrane between all concrete patios/porches and wood frame as per code.
- Do not scale drawings, use dimensions as specified on drawings.

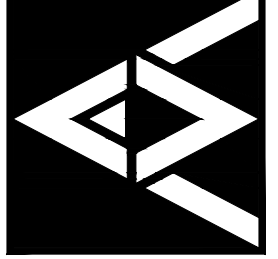


1 MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0" 1040 Sq. Ft.

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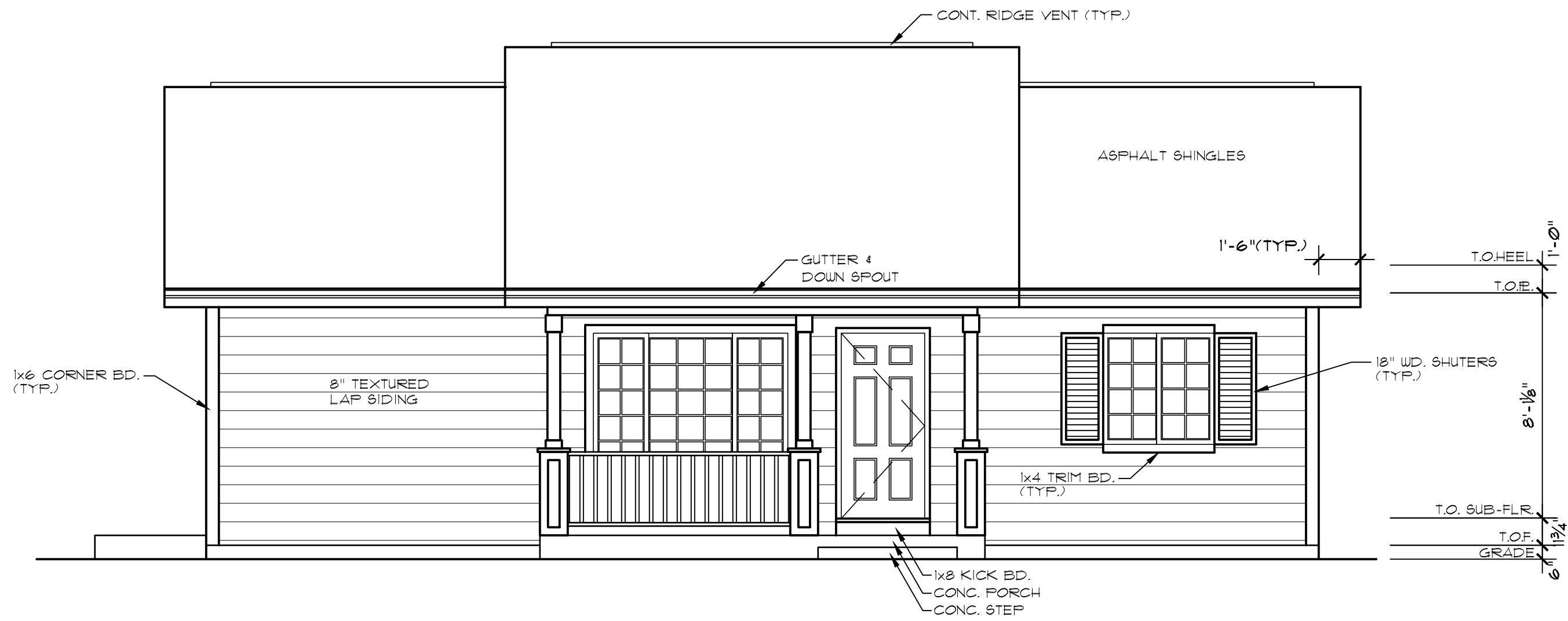
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J.B.M.
 checked by:
D.L.M.

date:
04-07-06

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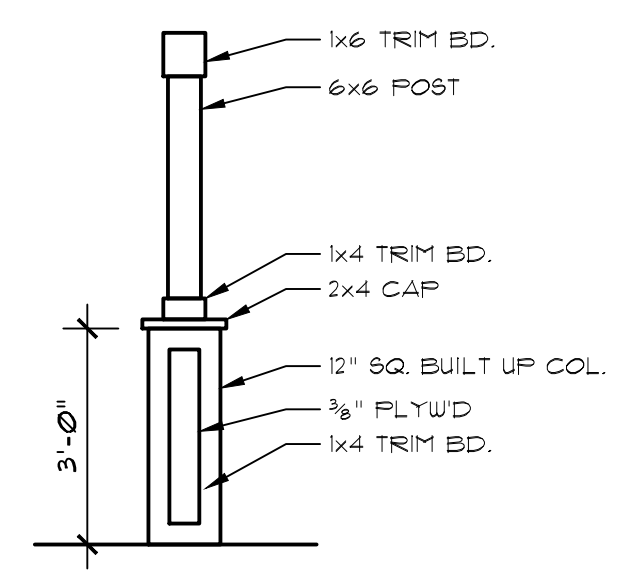
sheet index:
FLOOR PLAN

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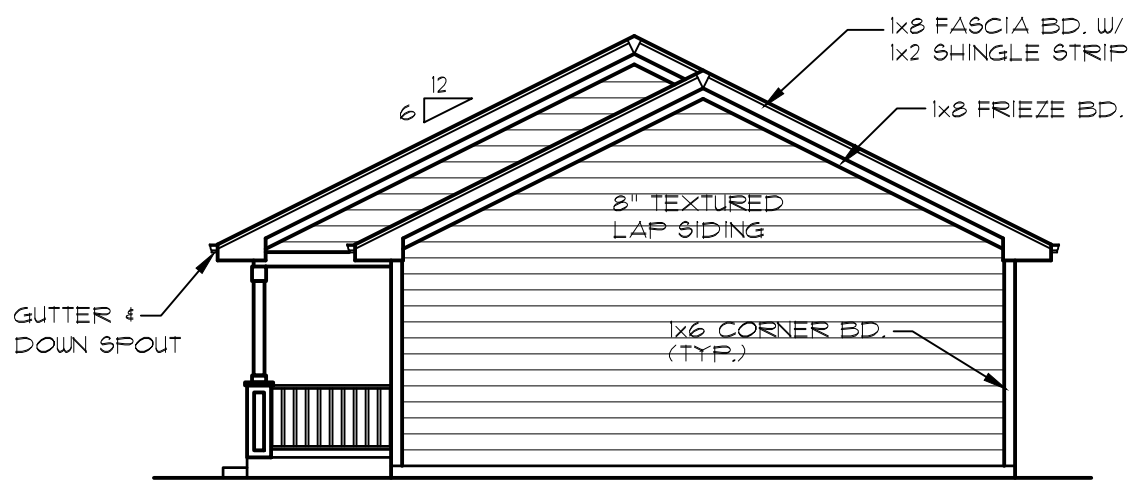


1 FRONT ELEVATION
1/4" = 1'-0"

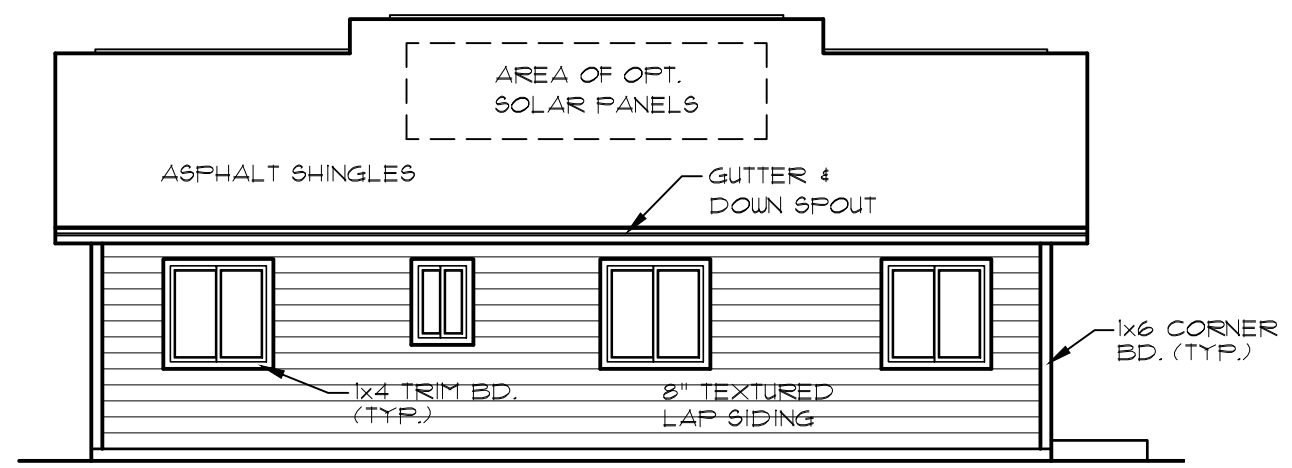
TILT AND ORIENTATION OF SOLAR PANELS
Solar panels should be placed as close as possible on a south facing roof in the Northern Hemisphere. The angle of degree varies as per location.



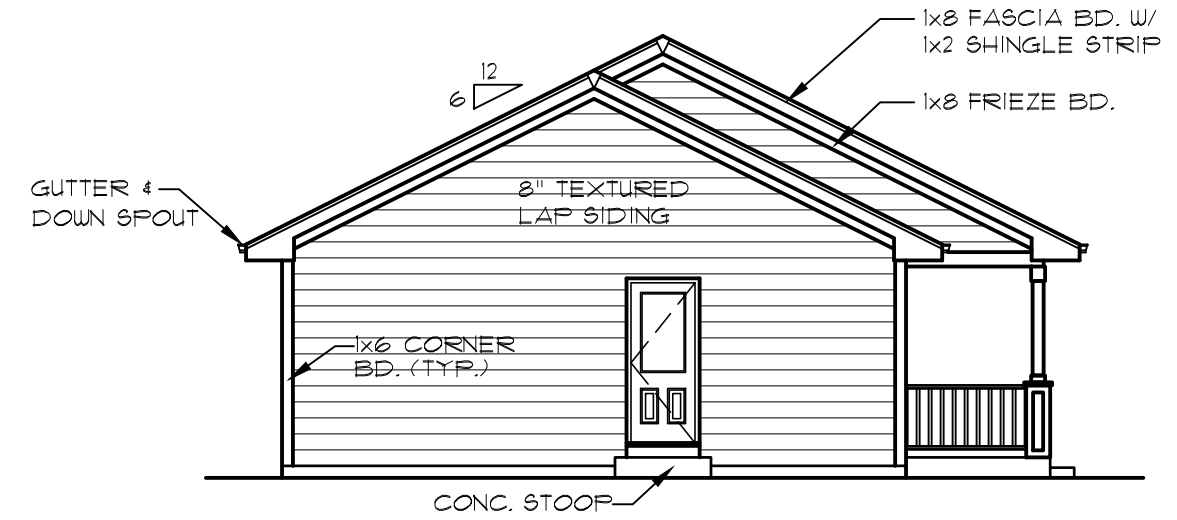
2 COLUMN DETAIL
3/8" = 1'-0"



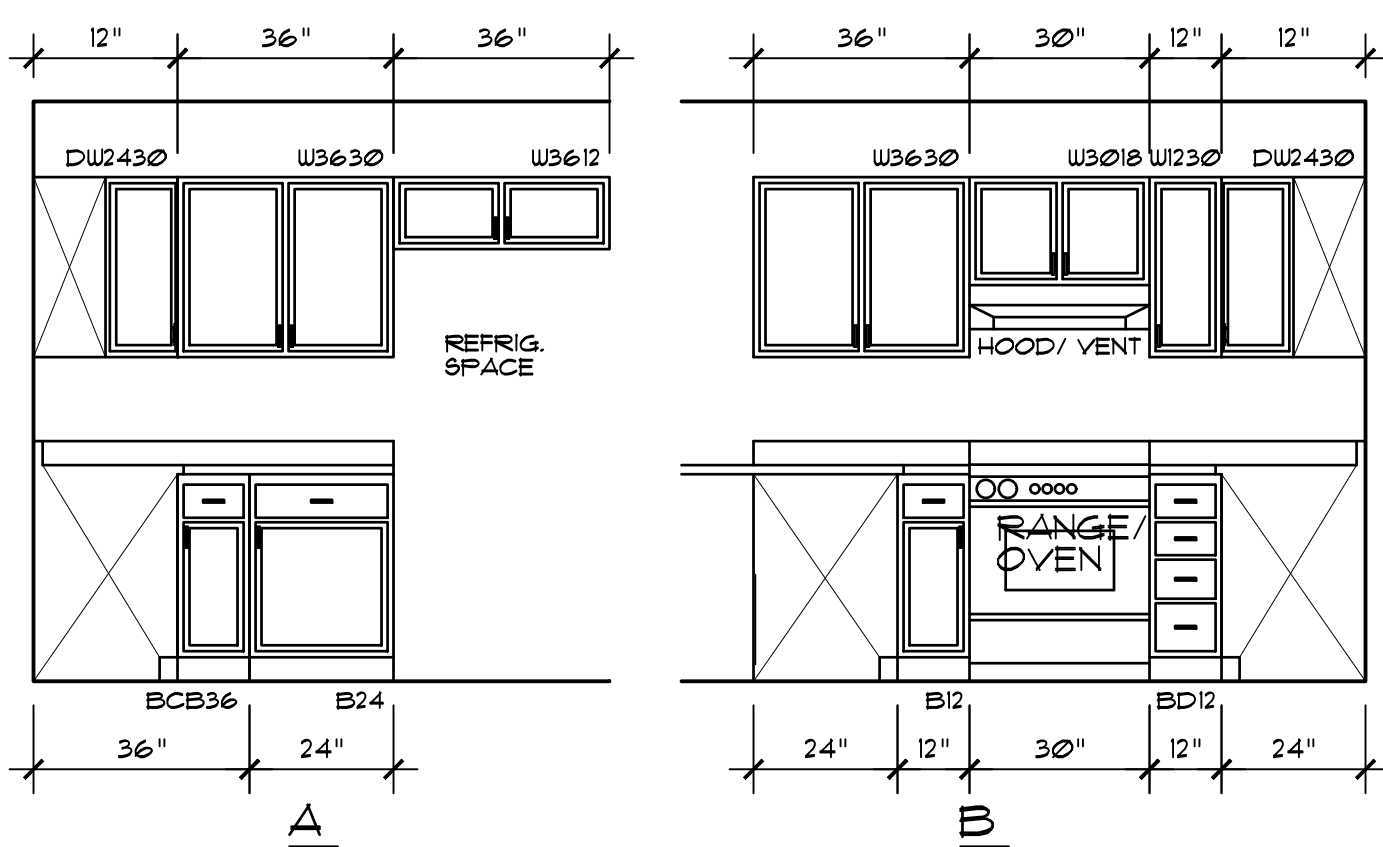
3 RIGHT SIDE ELEVATION
1/8" = 1'-0"



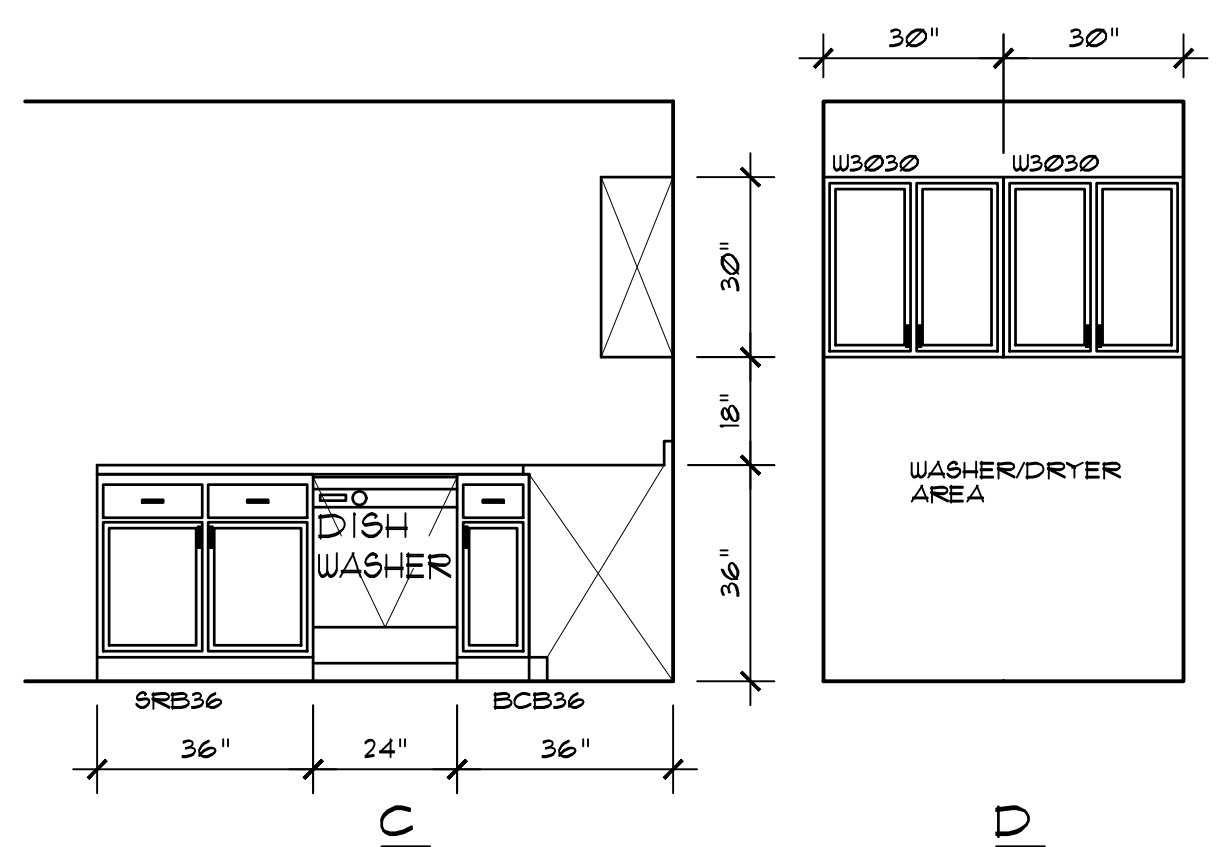
4 REAR ELEVATION
1/8" = 1'-0"



5 LEFT SIDE ELEVATION
1/8" = 1'-0"



6 KITCHEN/LAUNDRY CABINET ELEVATIONS
3/8" = 1'-0"

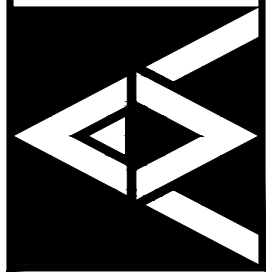


7 BATH ELEVATION
3/8" = 1'-0"

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checked by:
D.L.M.

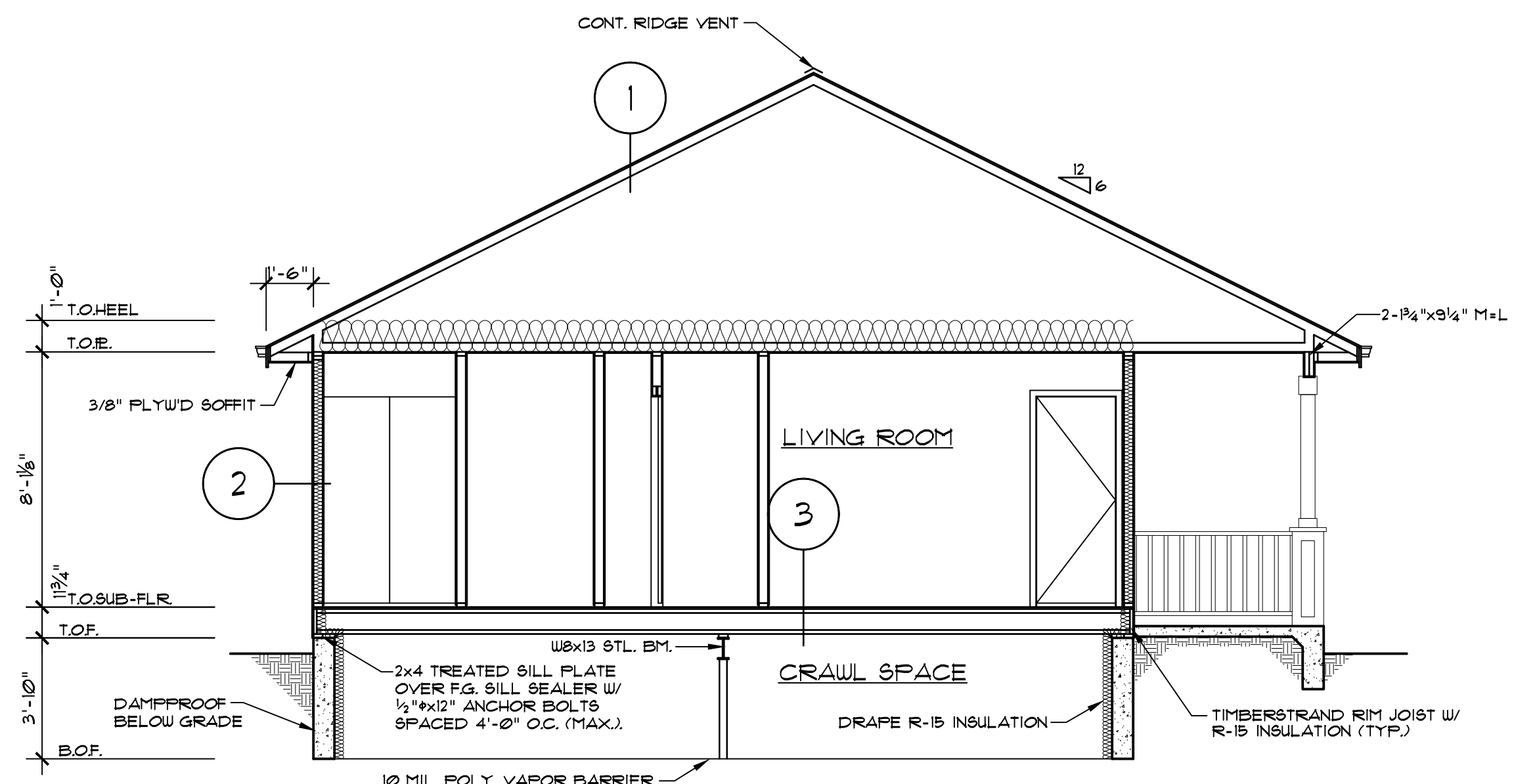
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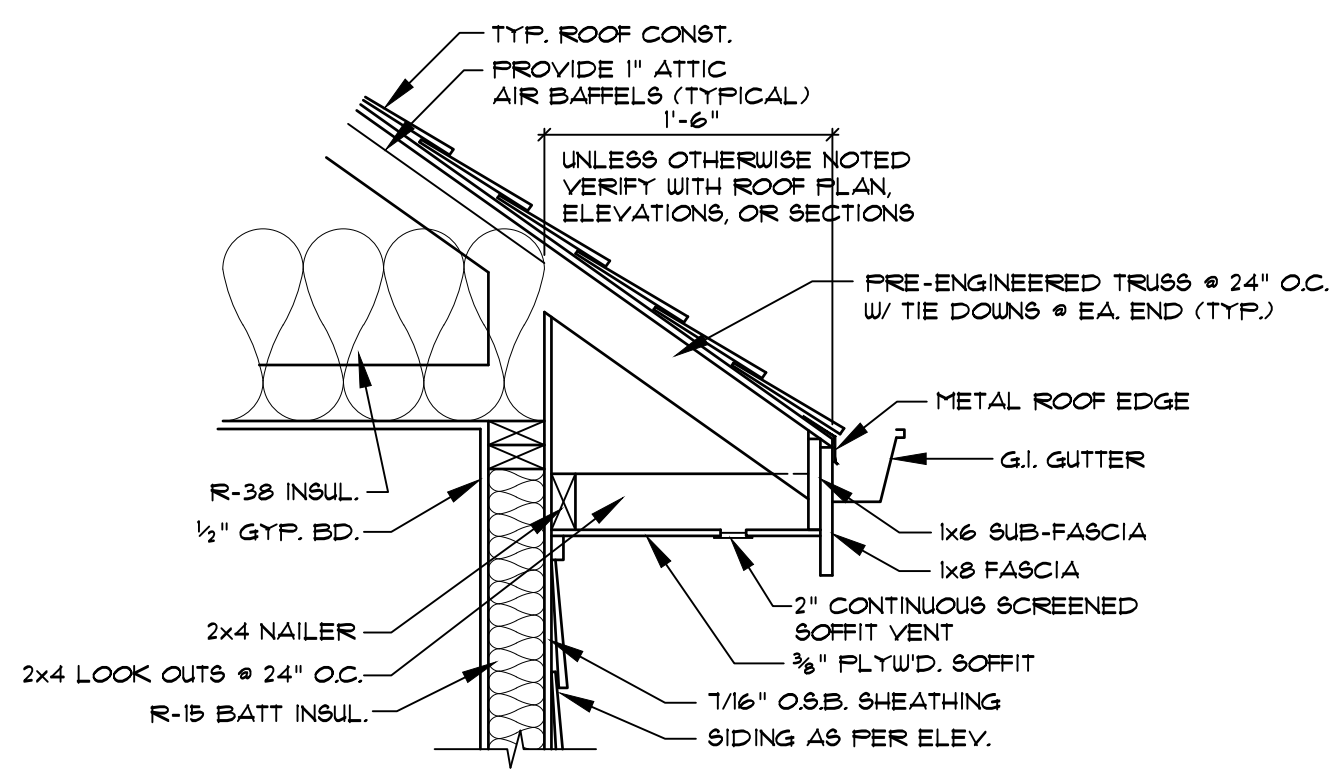
sheet index:
ELEVATIONS

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A4 of 11

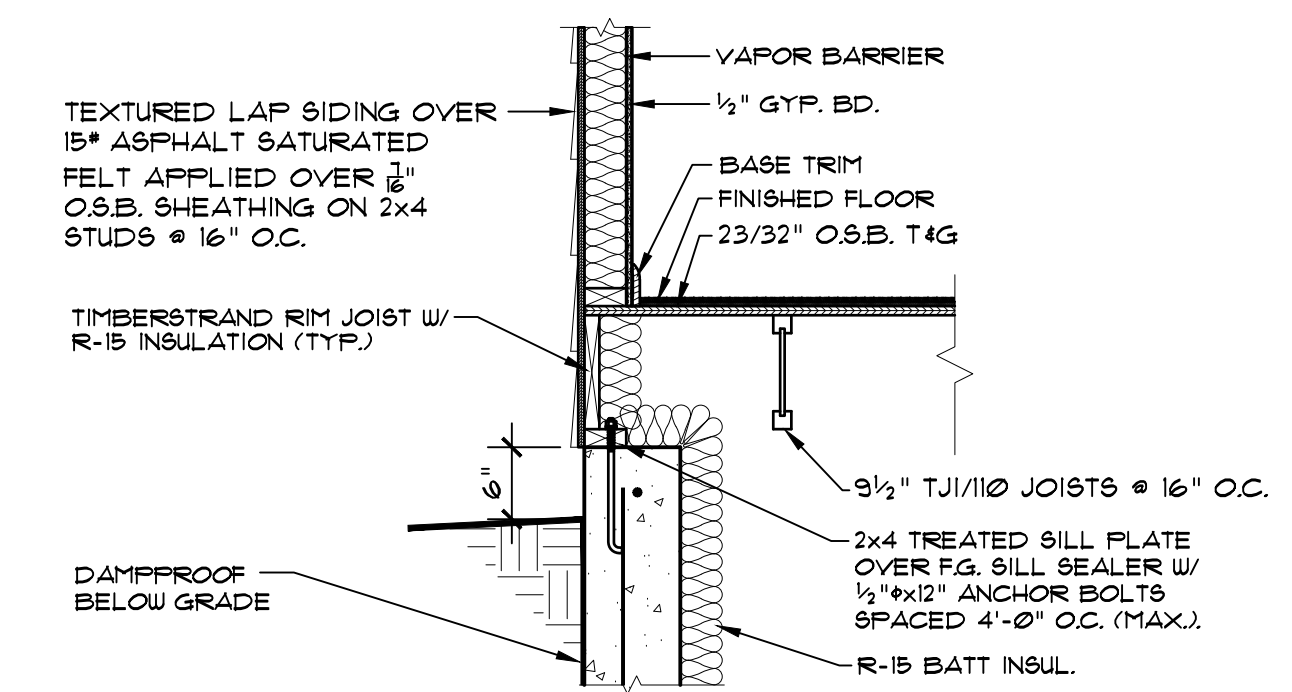
- 1 **ROOF SYSTEM:**
240# ASPHALT SHINGLES ON 15# FELT UNDERLAYMENT ON 1/16" O.S.B. SHEATHING ON PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. OR 2x10 RAFTERS (SEE ROOF FRAMING) W/ R-38 INSULATION AND 1/2" DRYWALL TO INTERIOR.
- 2 **EXTERIOR WALL SYSTEM:**
8" TEXTURED LAP SIDING OVER 1/16" O.S.B. SHEATHING ON 2x4 STUDS (OR 2x6 STUDS) @ 16" O.C. W/ DBL. TOP & SINGLE BOTTOM PLATE W/ R-15 INSULATION & 1/2" DRYWALL TO INTERIOR. INSTALL WEATHER RESISTIVE BARRIER OVER O.S.B. SHEATHING AS PER SECTION 1032 OF THE IRC.
- 3 **FLOOR SYSTEM:**
23/32" O.S.B. T4G GLUED & NAILED OVER 9 1/2" TJI/110 JOISTS @ 16" O.C.



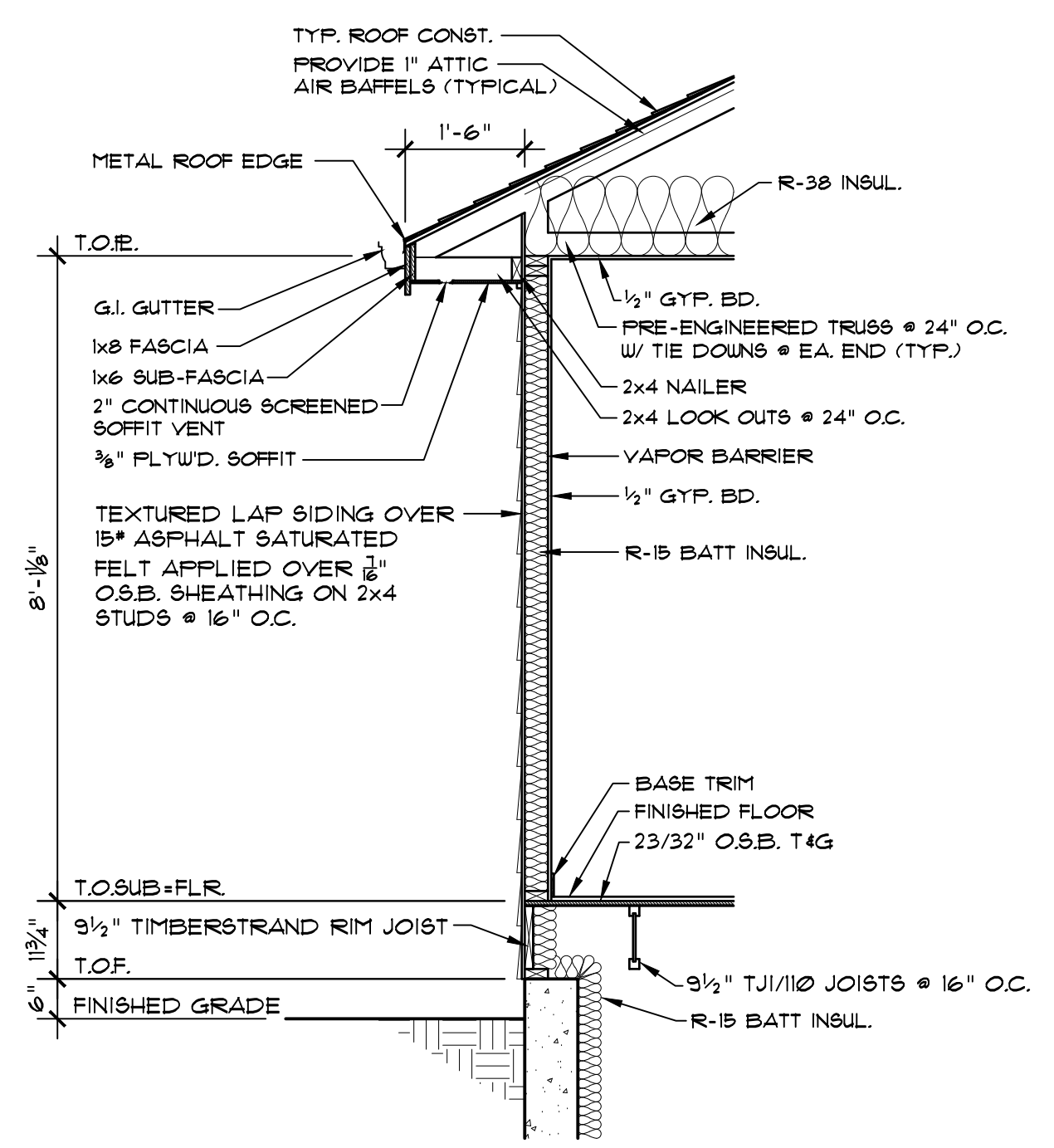
1 CROSS SECTION
1/4" = 1'-0"



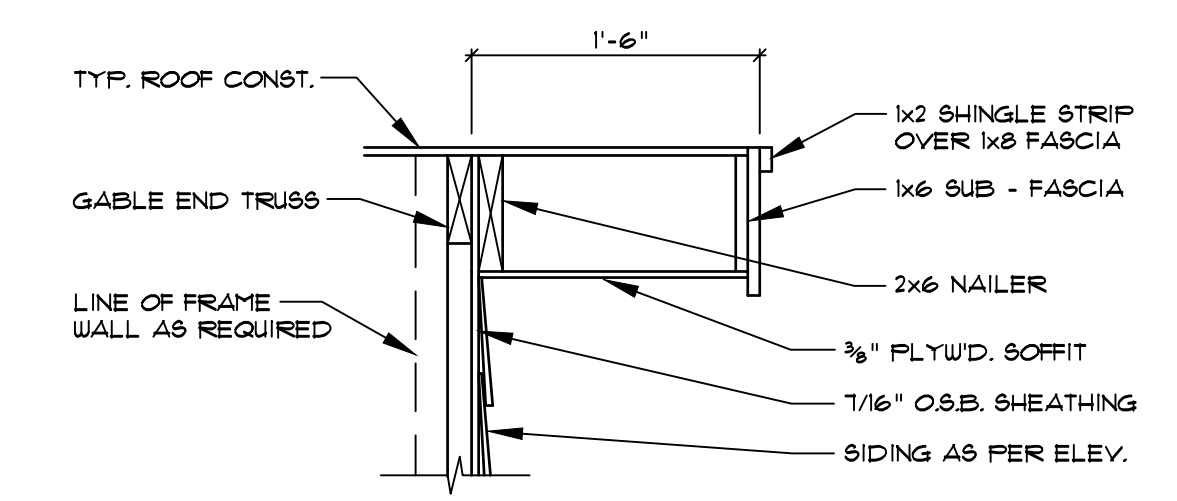
2 CORNICE DETAIL
1" = 1'-0"



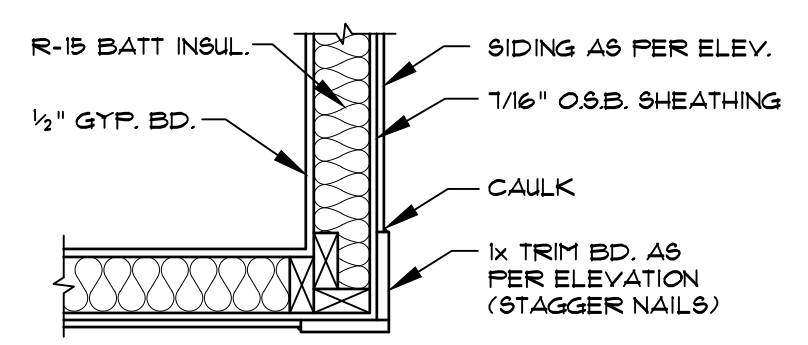
4 EXTERIOR WALL DETAIL
3/4" = 1'-0"



6 TYPICAL WALL SECTION
1/2" = 1'-0"



3 GABLE DETAIL
1" = 1'-0"

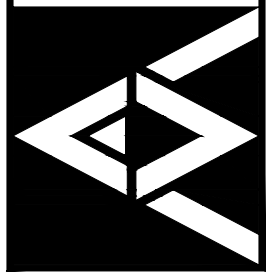


5 CORNER DETAIL
1" = 1'-0"

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D.L.M.

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revised:

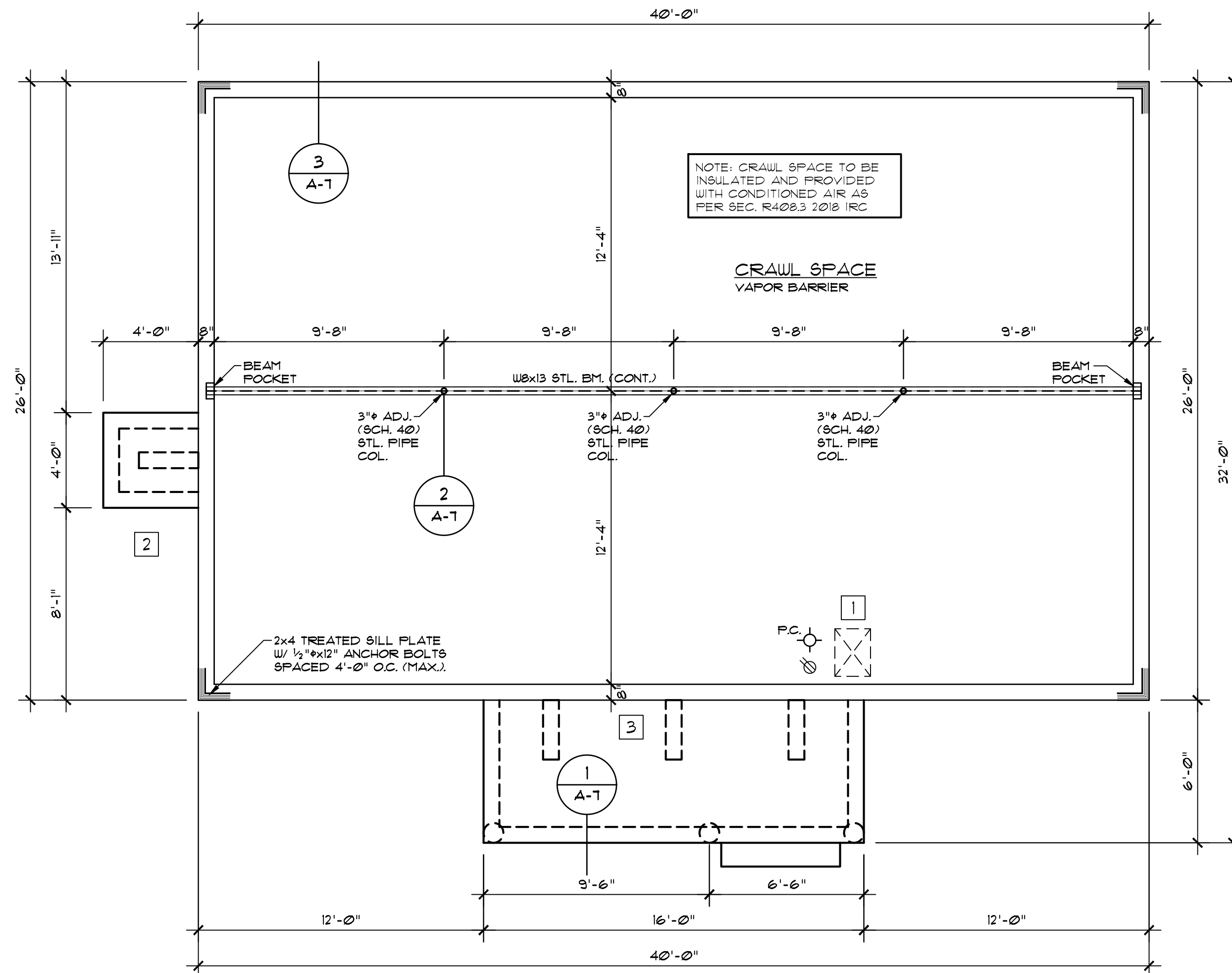
sheet index:
SECTIONS & DETAILS

sheet no.
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FOUNDATION LEGEND

1. Provide 18"x24" horizontal crawl space access.
2. Provide 4" concrete slab, 8" x 12" turndown edge, 8" concrete haunch, steel as specified.
3. Provide 4" concrete slab, 8" x 12" turndown edge, caissons, 8" concrete haunch and steel as specified.

Do not scale drawings, use dimensions as specified on drawings.



1 CRAWL SPACE FLOOR PLAN
1/4" = 1'-0"

NOTE: Foundation design shown on these drawings are conceptual only. Actual foundation design by others. Foundation design to be based upon site soil conditions and building code requirements.

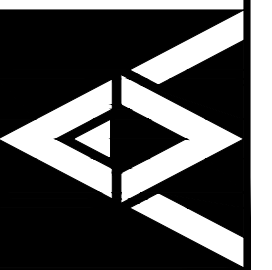
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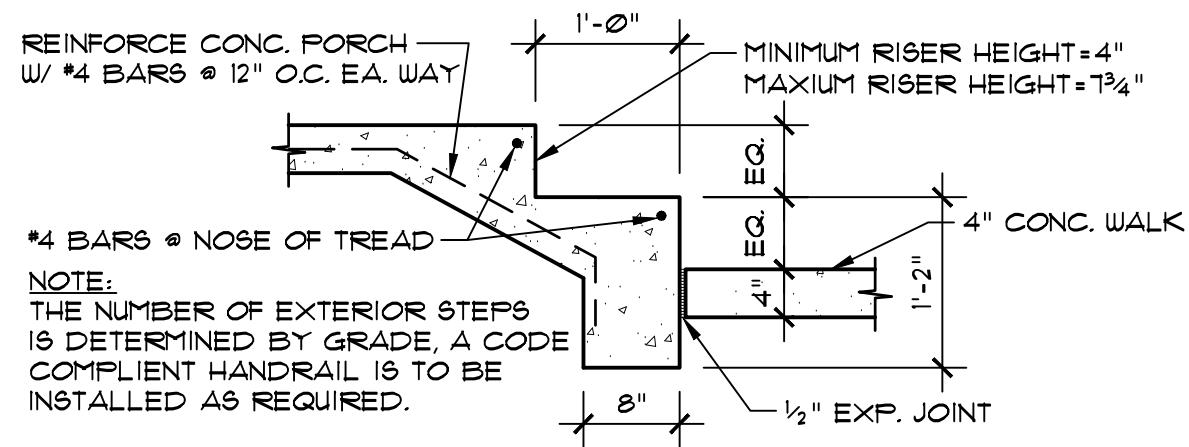
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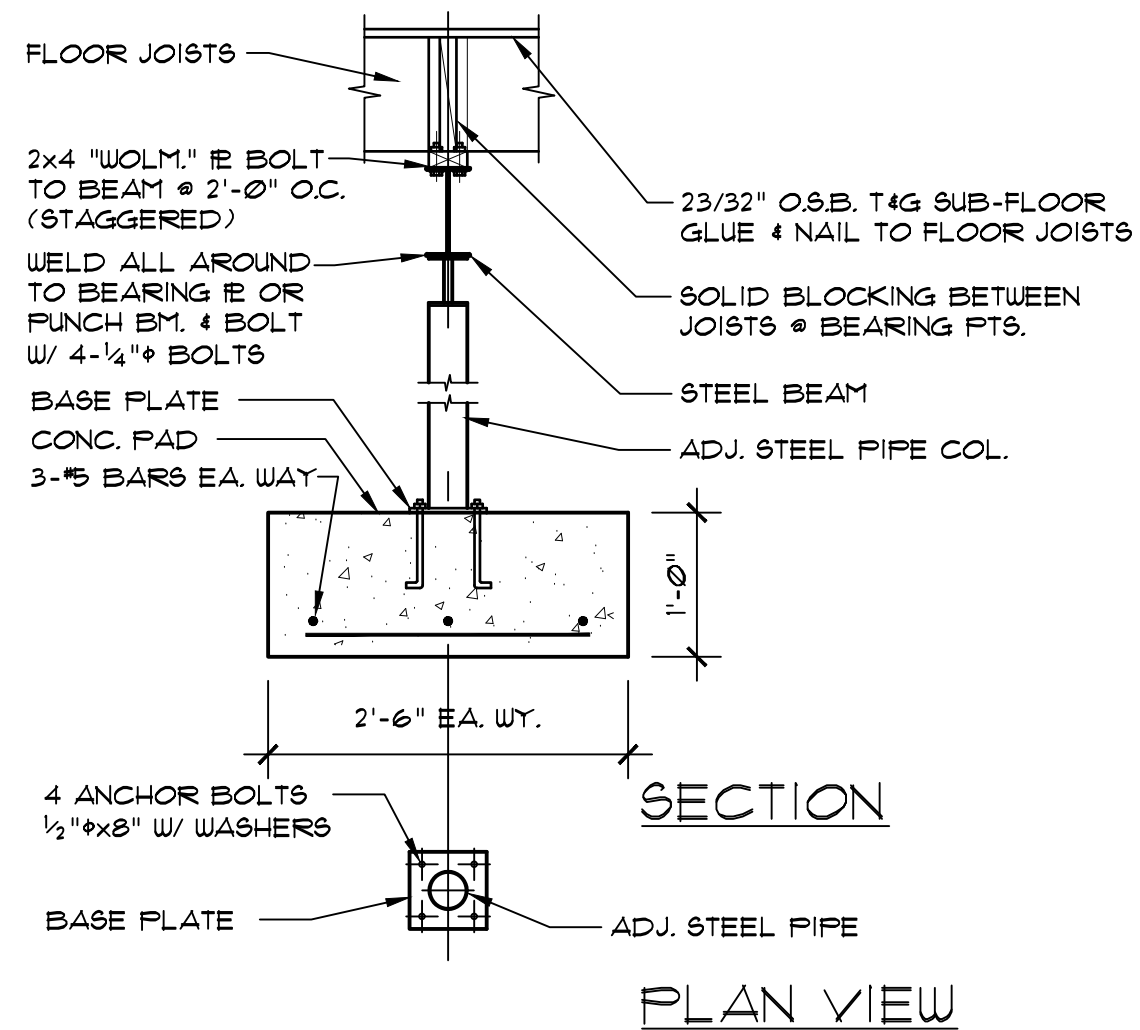
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CRAWL SPACE FLOOR PLAN

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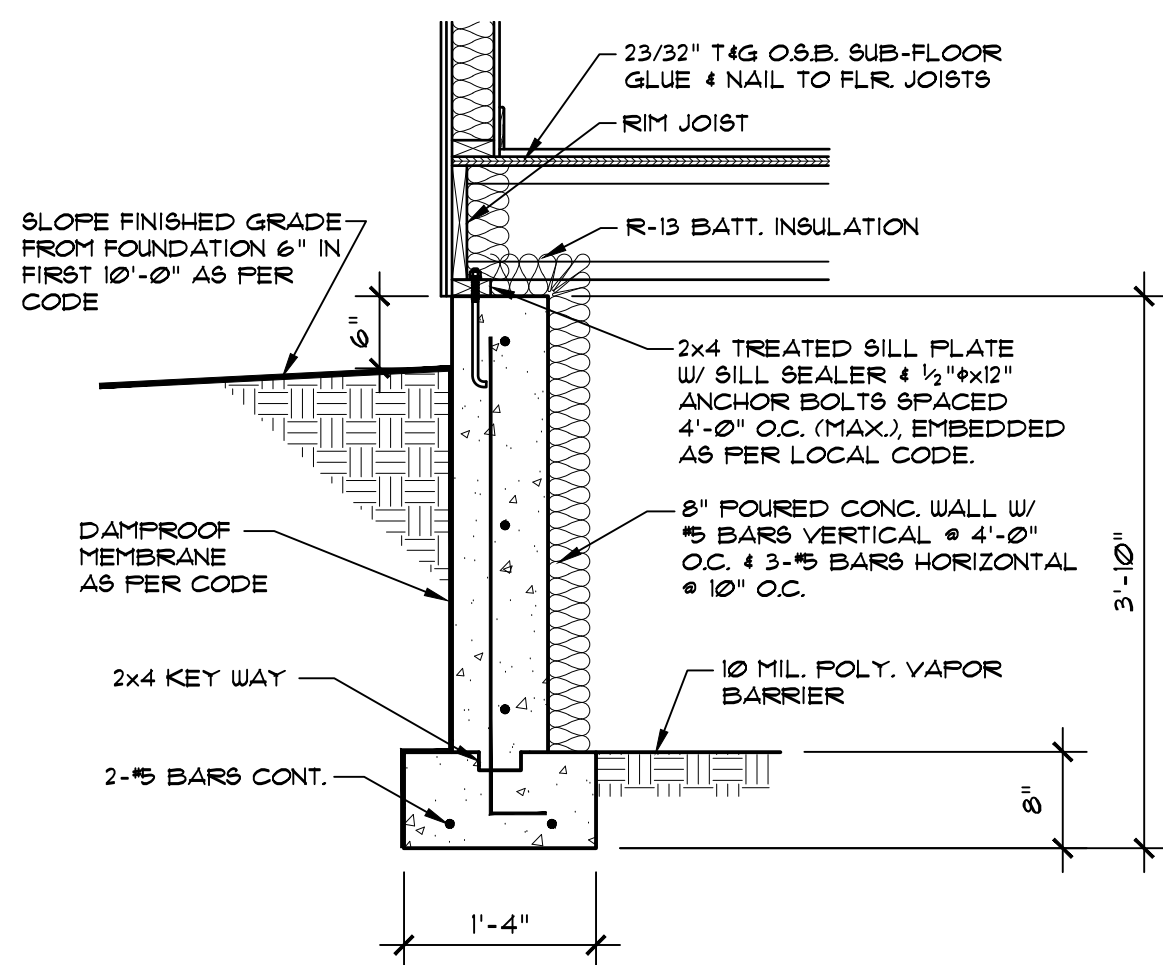
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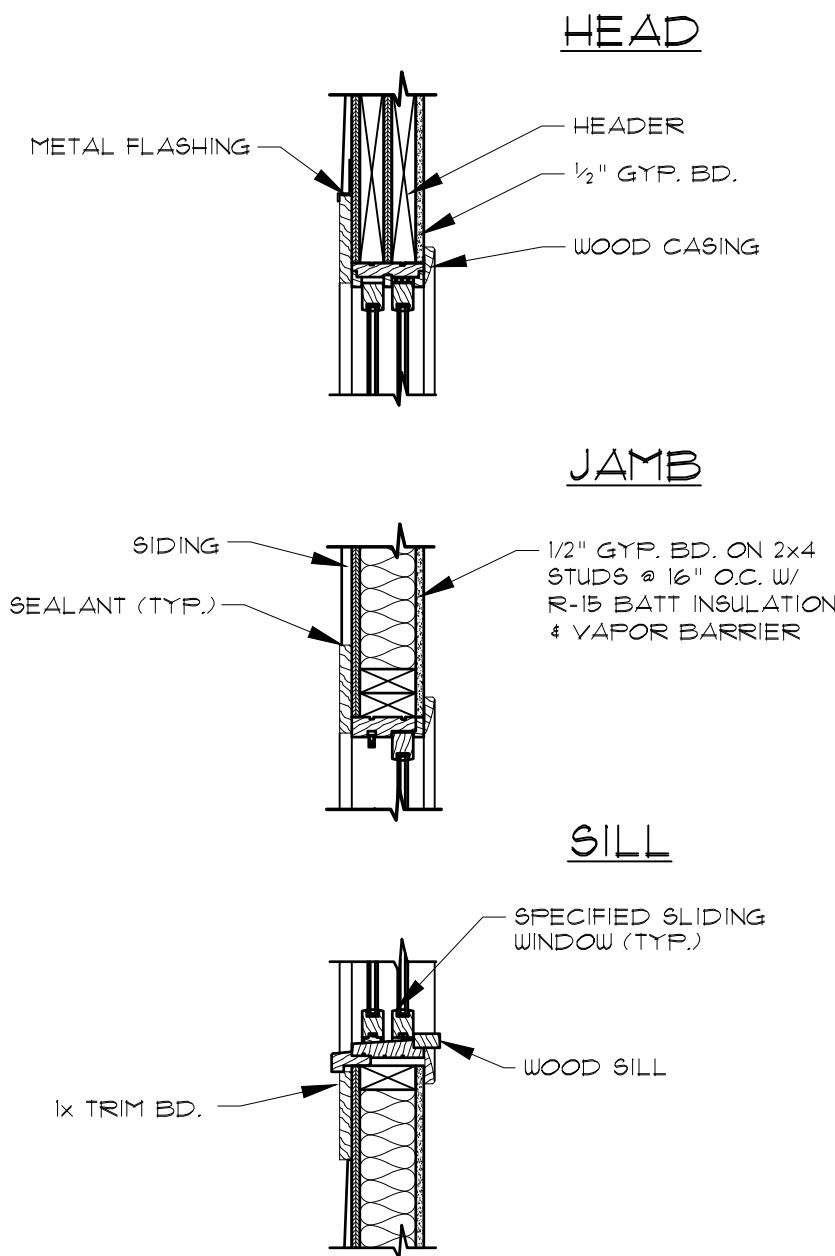
1 CONCRETE STAIR DETAIL
3/4" = 1'-0"



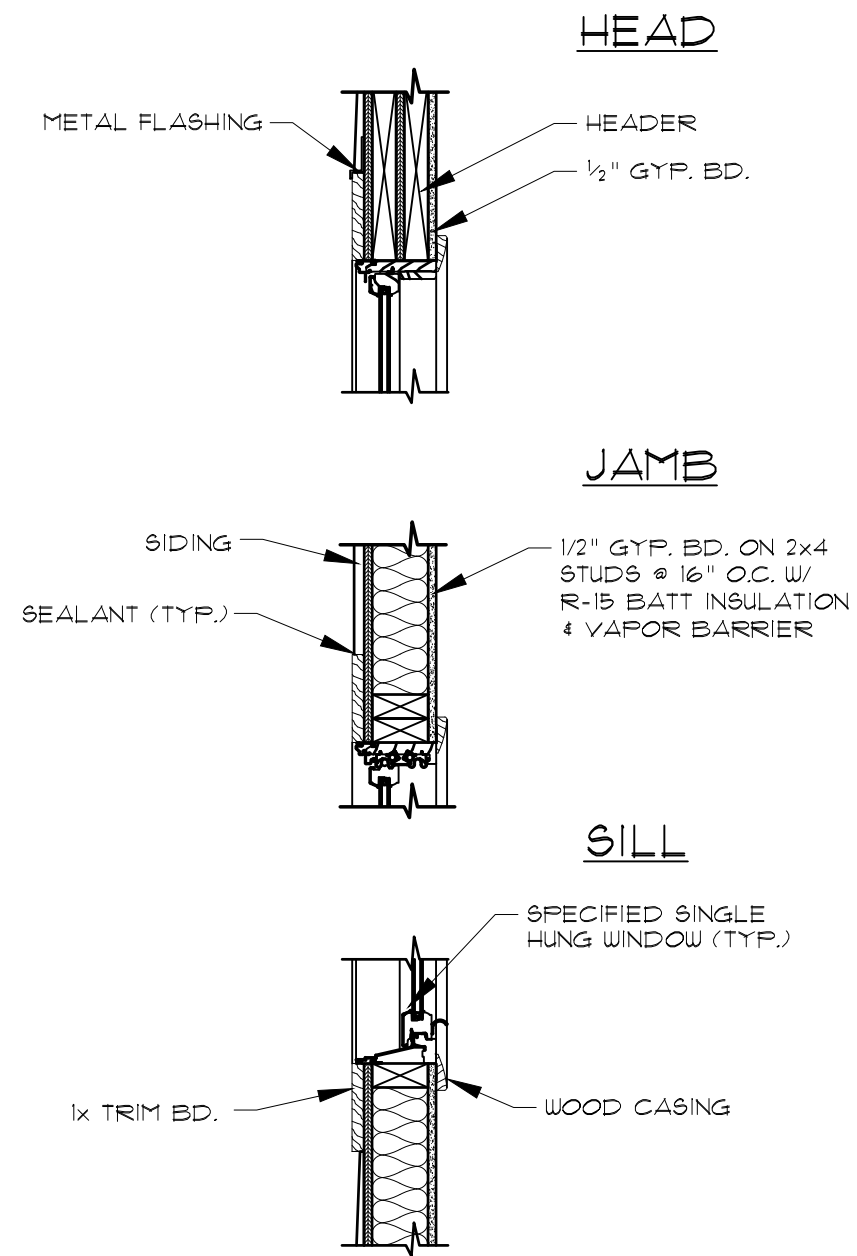
2 COLUMN DETAIL
3/4" = 1'-0"



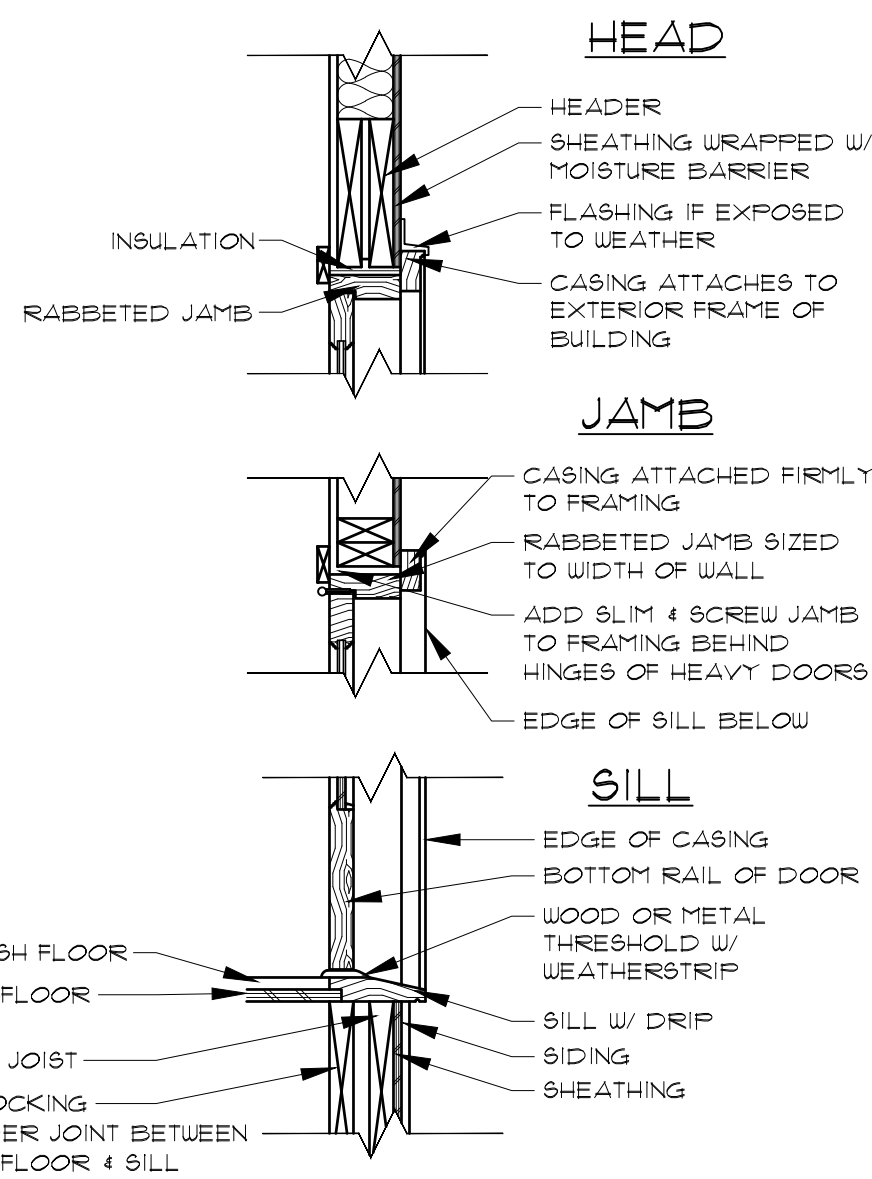
3 FOUNDATION DETAIL
3/4" = 1'-0"



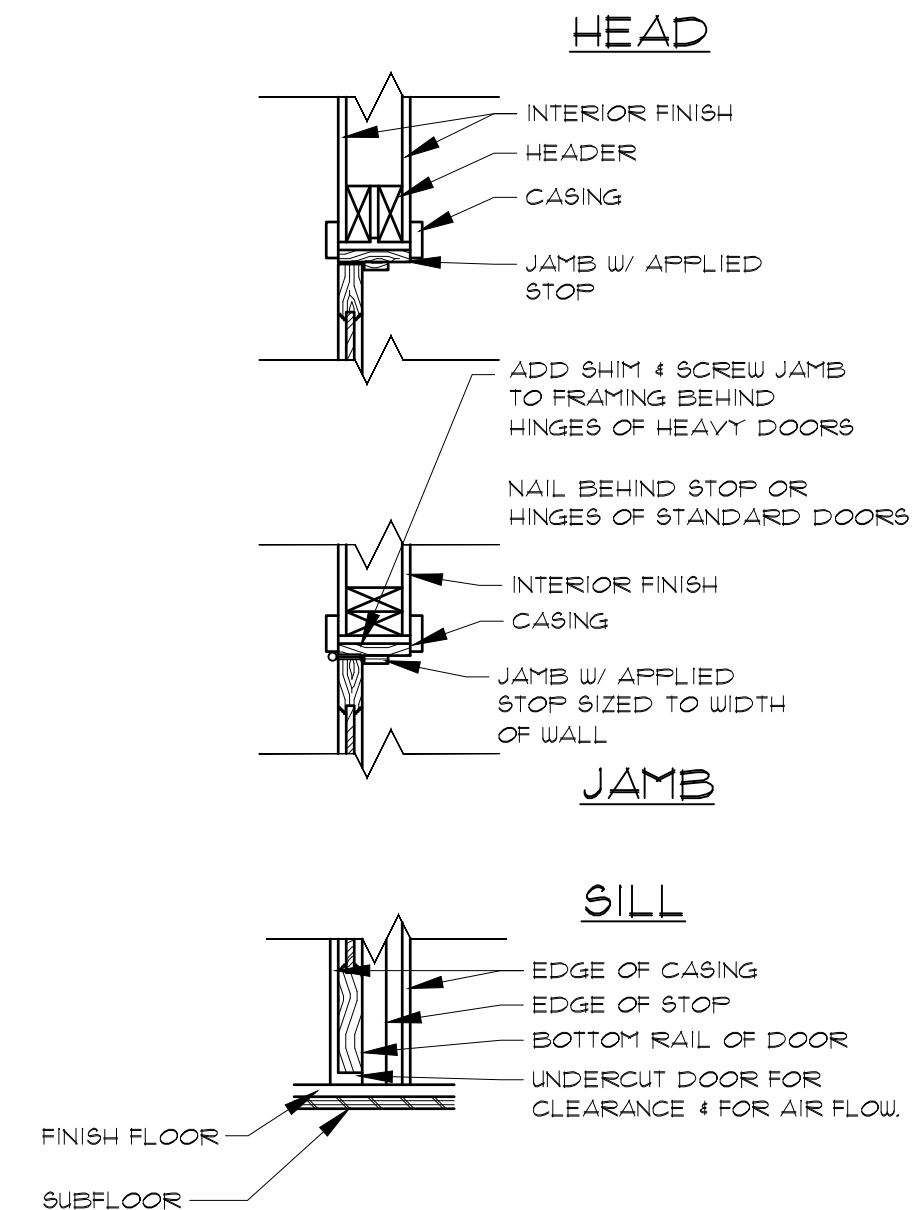
4 SL. WINDOW DETAIL
1" = 1'-0"



5 SH. WINDOW DETAIL
1" = 1'-0"



6 EXTERIOR DOOR DETAIL
1" = 1'-0"



7 INTERIOR DOOR DETAIL
1" = 1'-0"

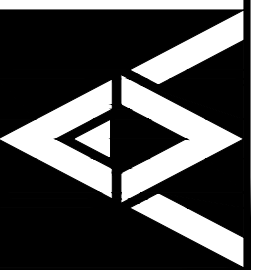
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D.L.M.

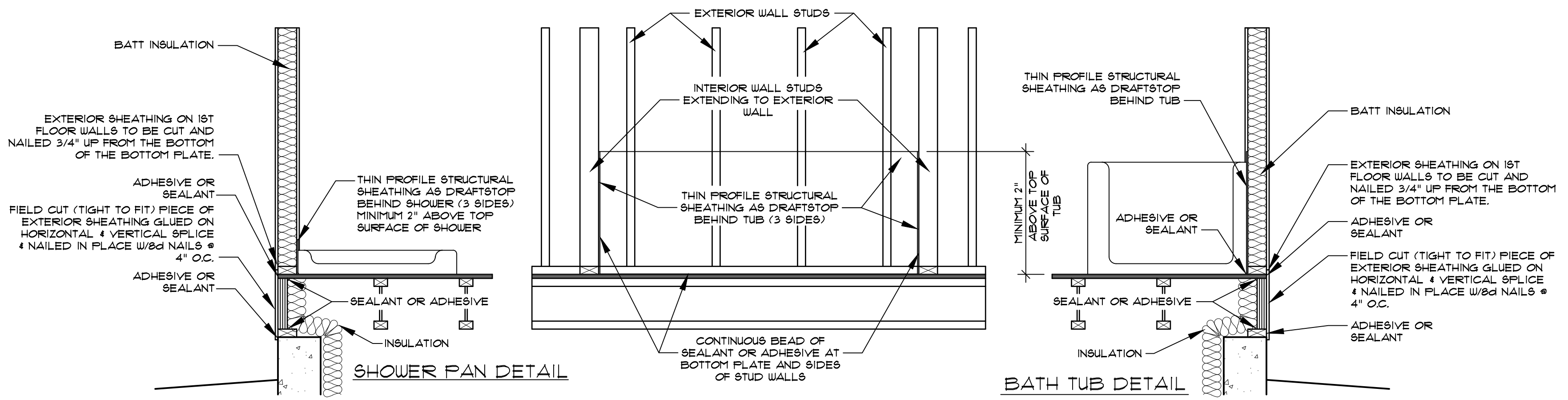
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04-07-06

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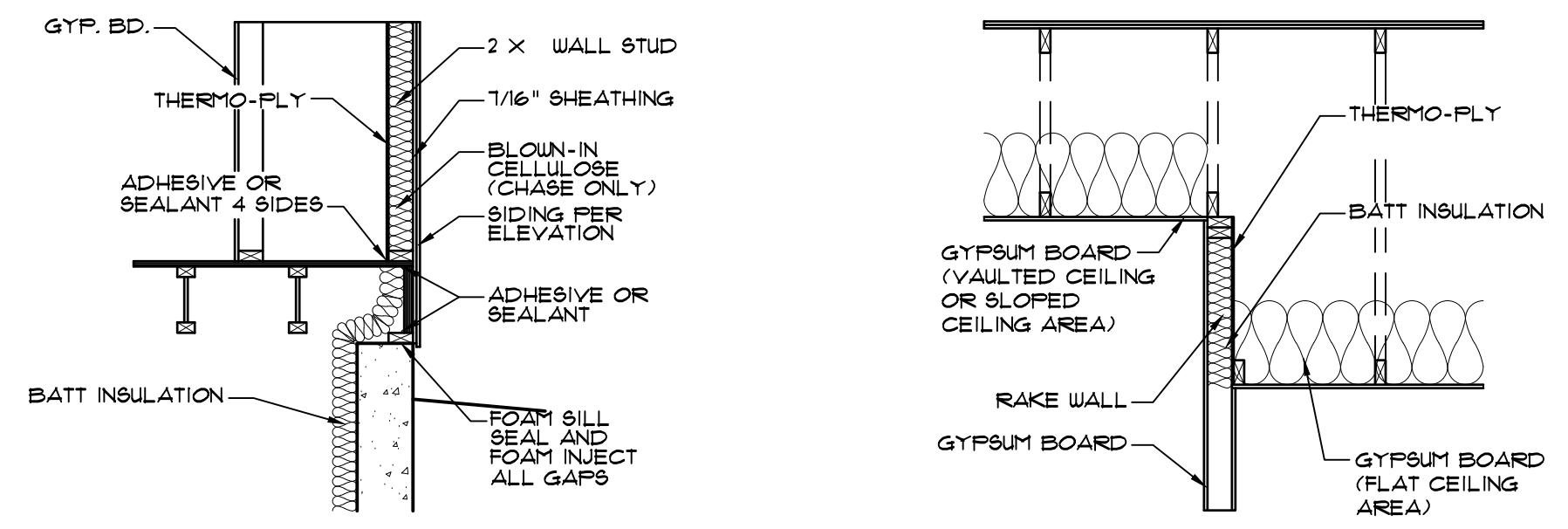
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DETAILS

sheet no.

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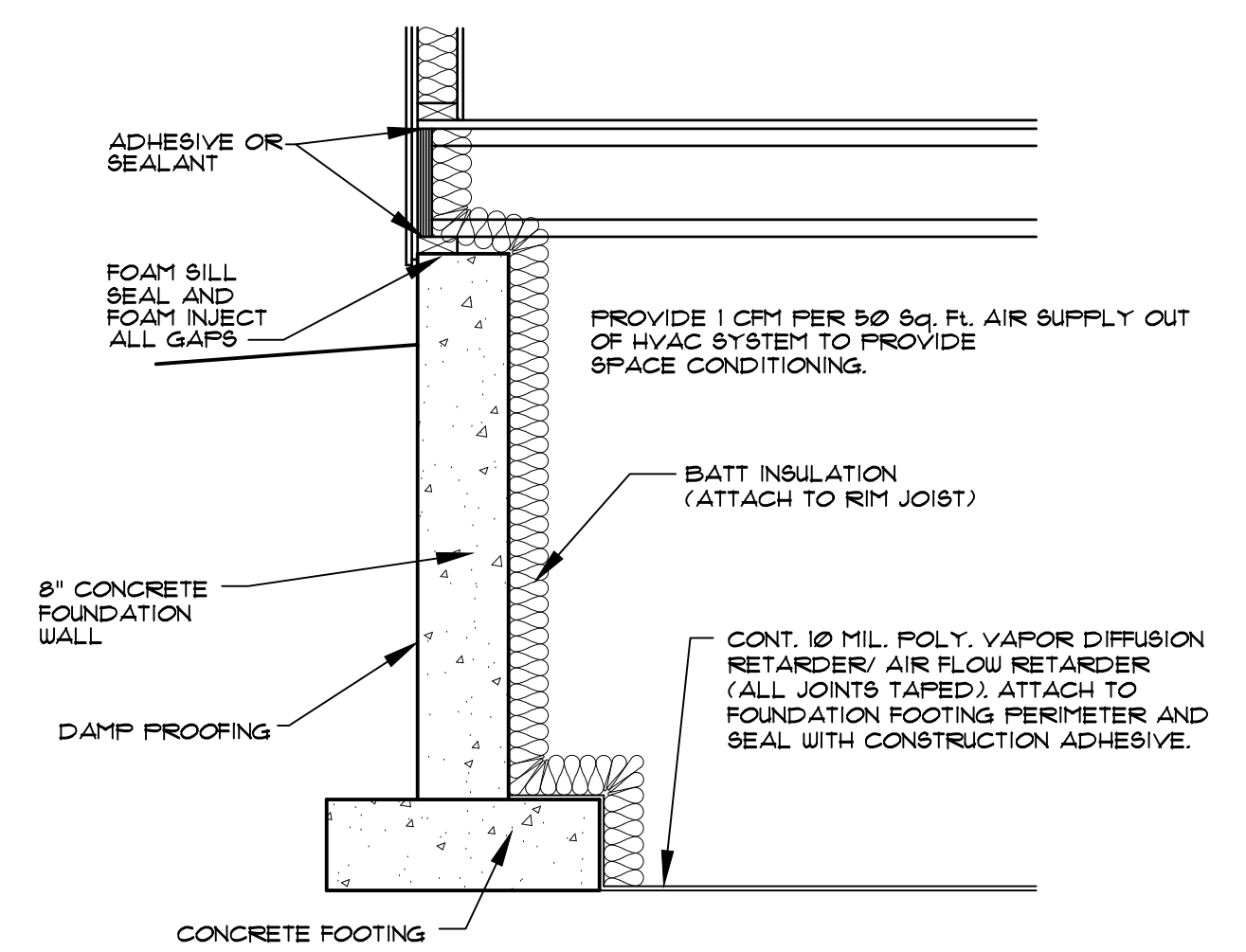


1 PANELIZED WALL DETAIL
3/4" = 1'-0"

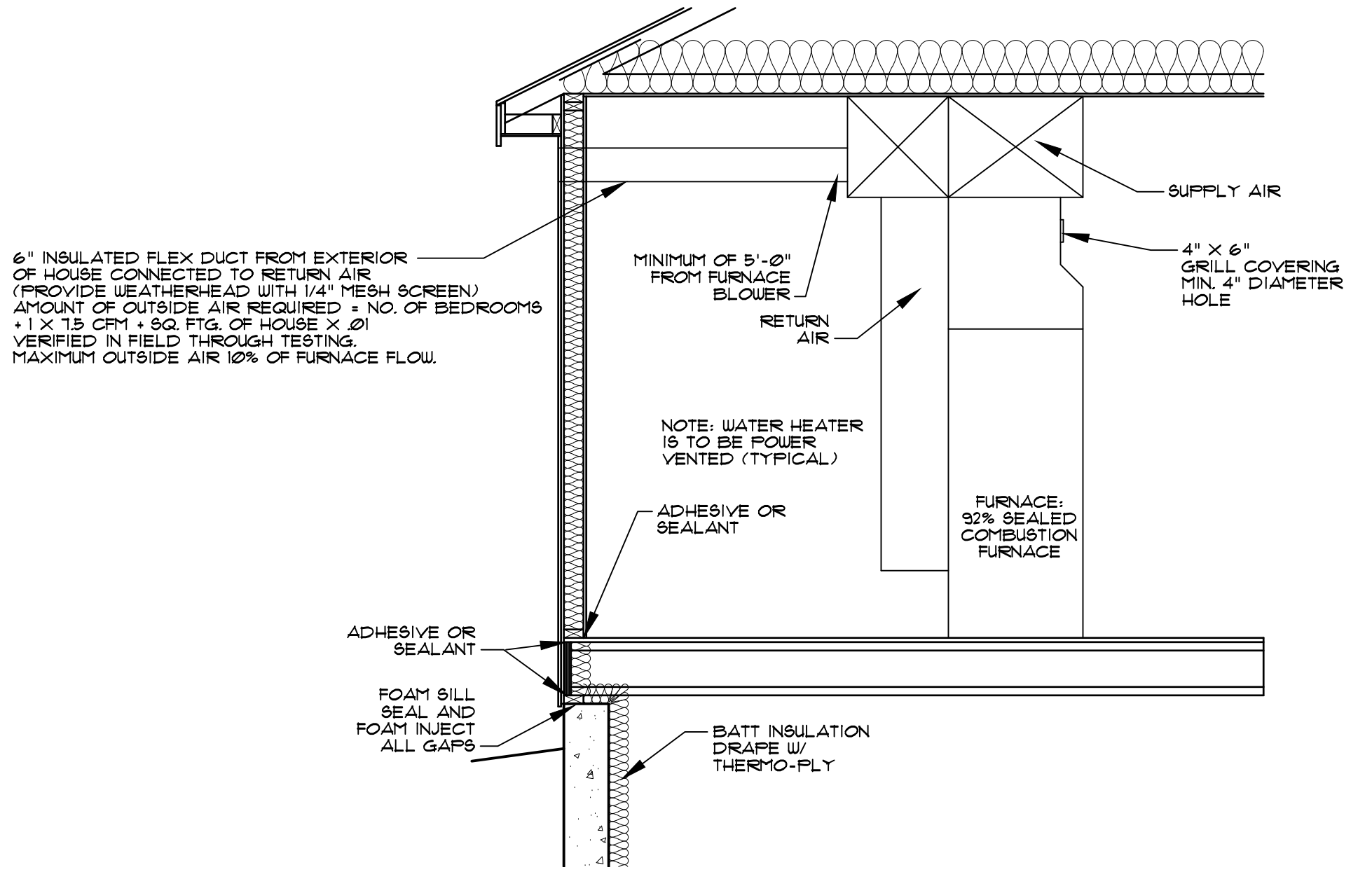


2 FIRST FLOOR DETAIL
1/2" = 1'-0"

3 RAKE WALL DETAIL
1/2" = 1'-0"



4 CRAWL WALL DETAIL
1/2" = 1'-0"

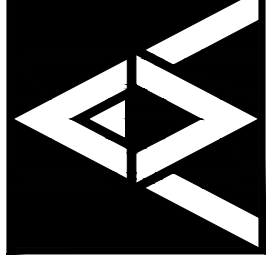


5 FURNACE DETAIL
1/2" = 1'-0"

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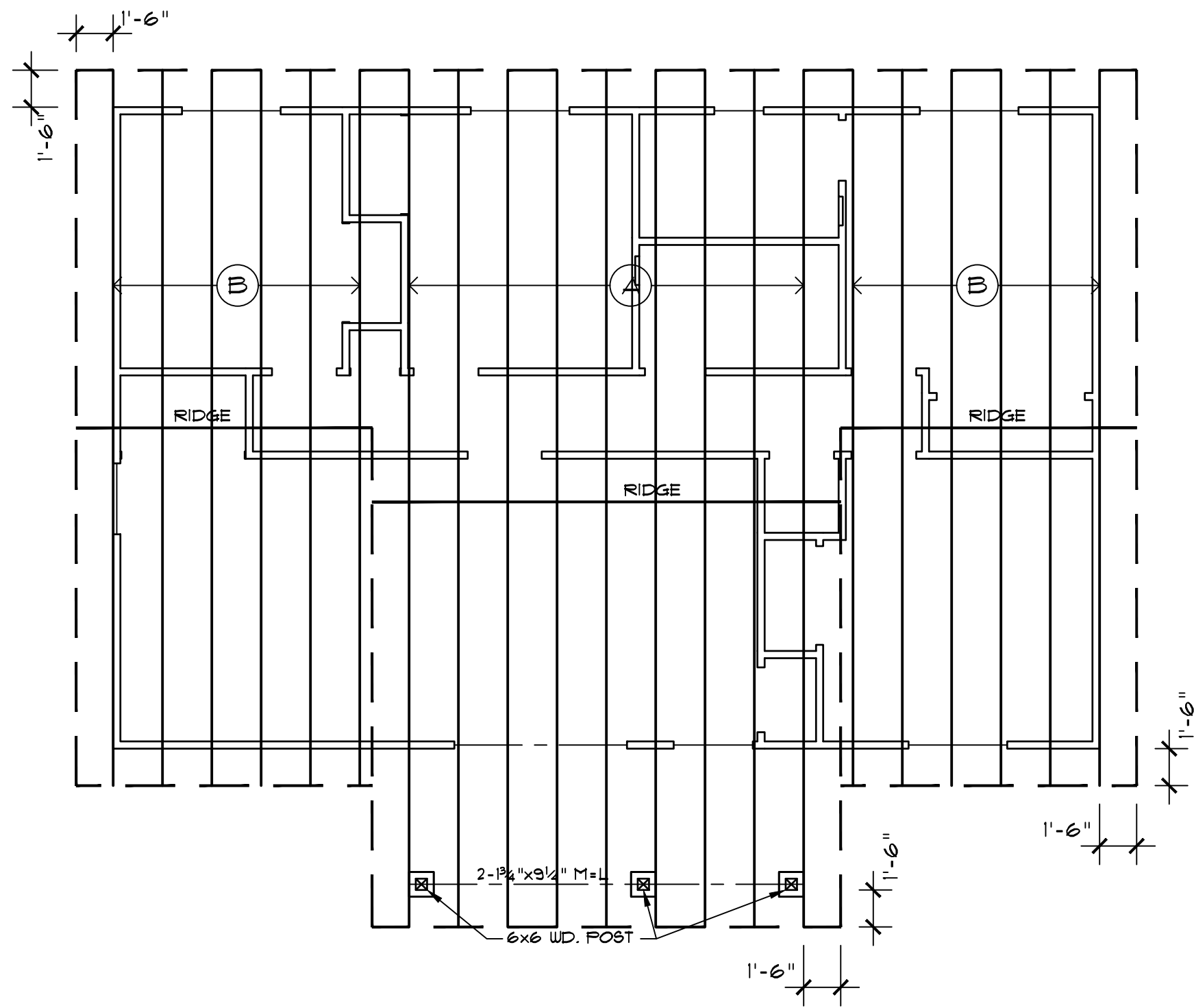
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D.L.M.

date:
04-07-06

revised:

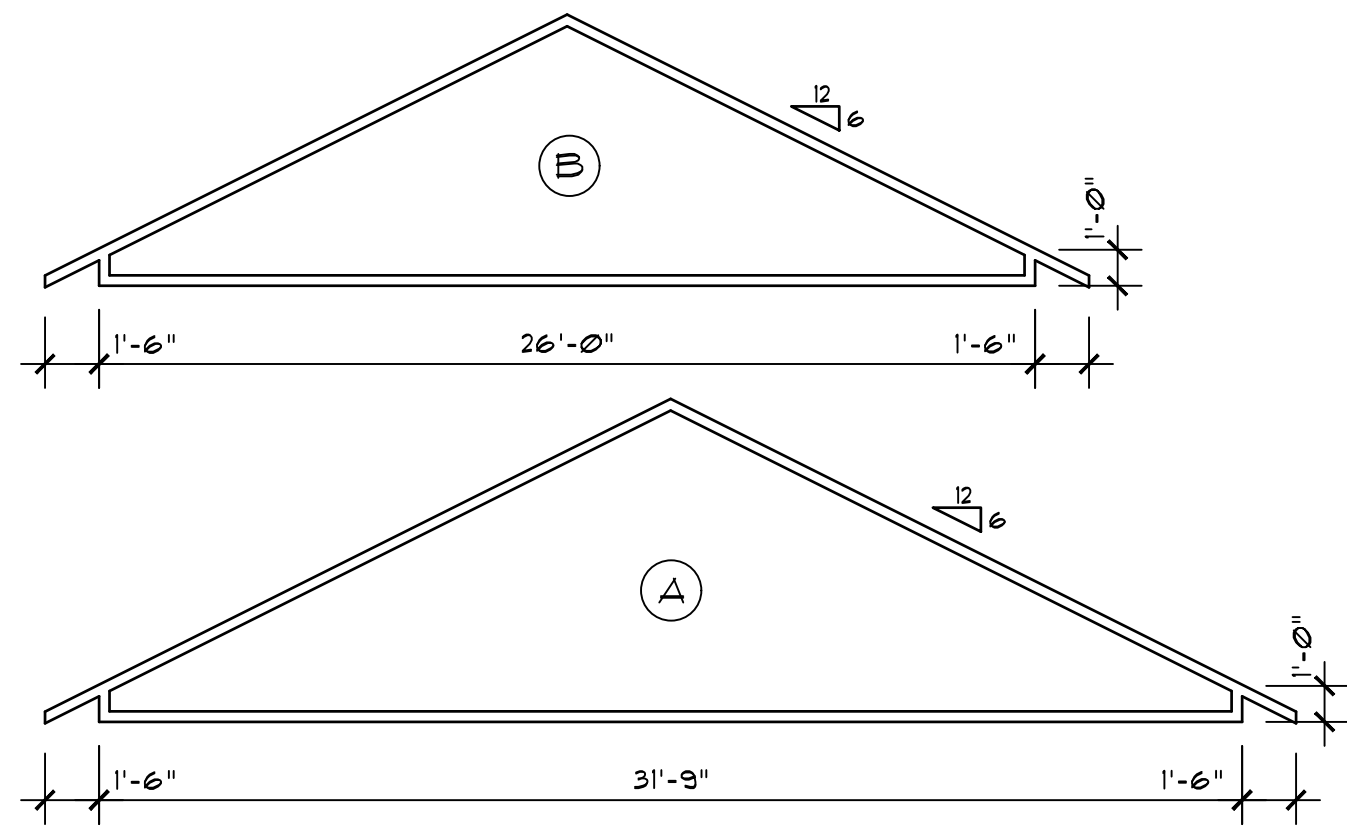
sheet index:
AIR BARRIER DETAILS

sheet no.
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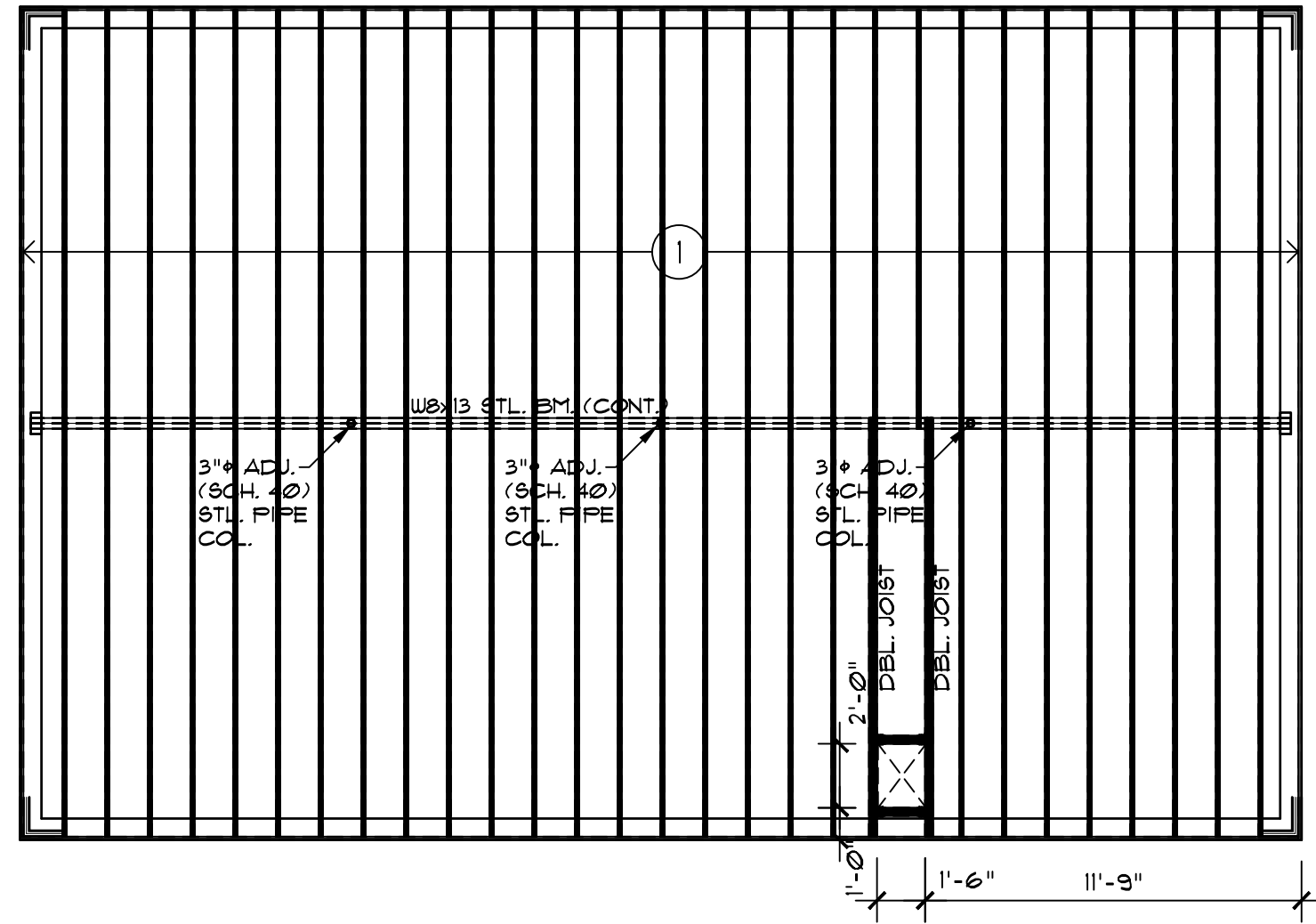


NOTE: ALL TRUSSES TO BE SPACED @ 24" O.C. UNLESS OTHERWISE NOTED.

2 ROOF FRAMING PLAN
3/16" = 1'-0"



3 PRE ENGINEERED ROOF TRUSSES
3/16" = 1'-0"



1 FLOOR FRAMING PLAN
3/16" = 1'-0"

FRAMING LEGEND

- 1. 2 1/2" TJI 210 FLOOR JOISTS SPACED @ 16" O.C.

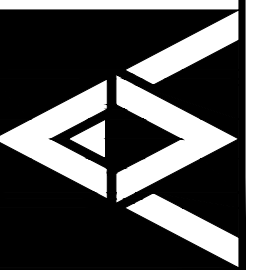
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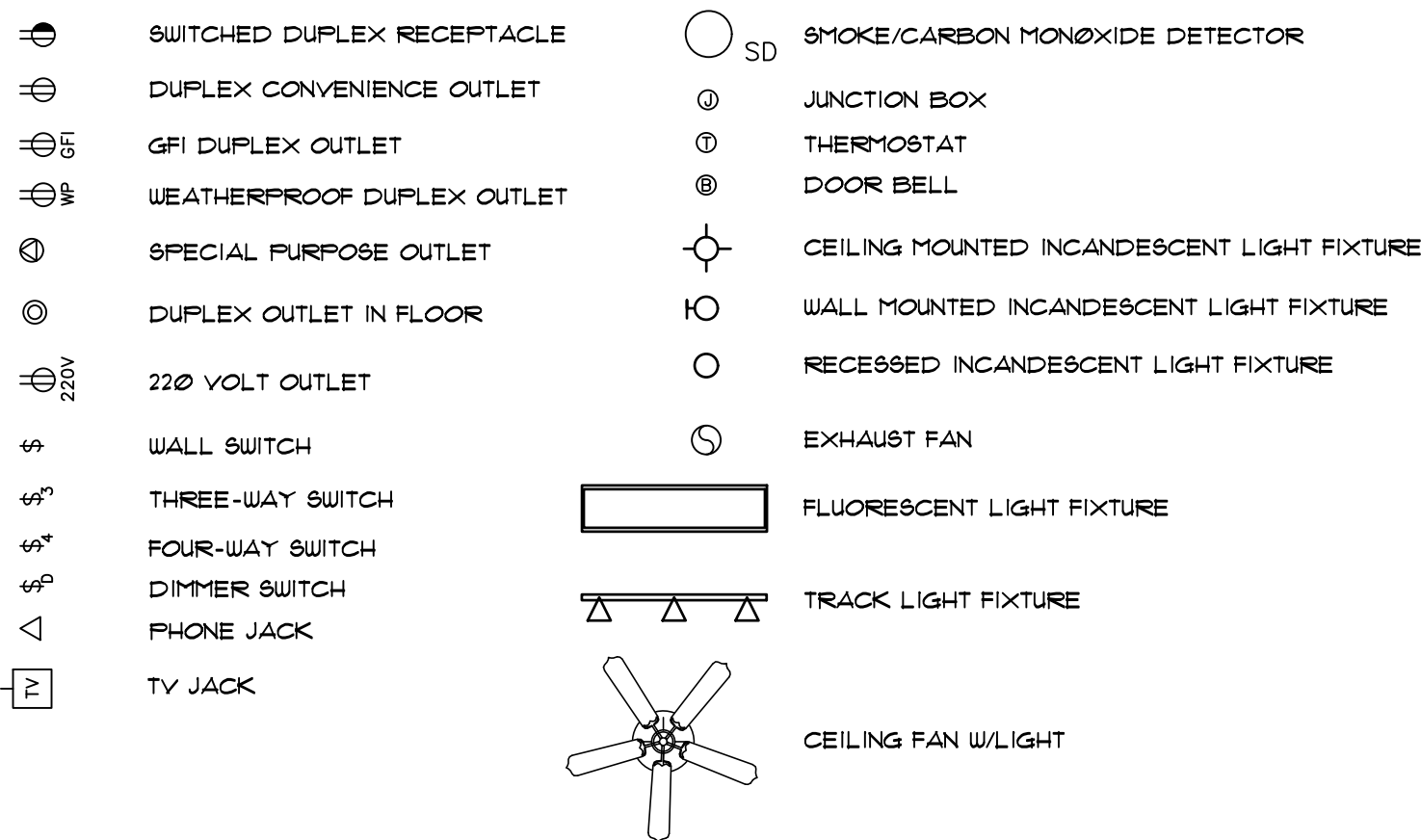
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sheet index:
FRAMING PLANS

sheet no.

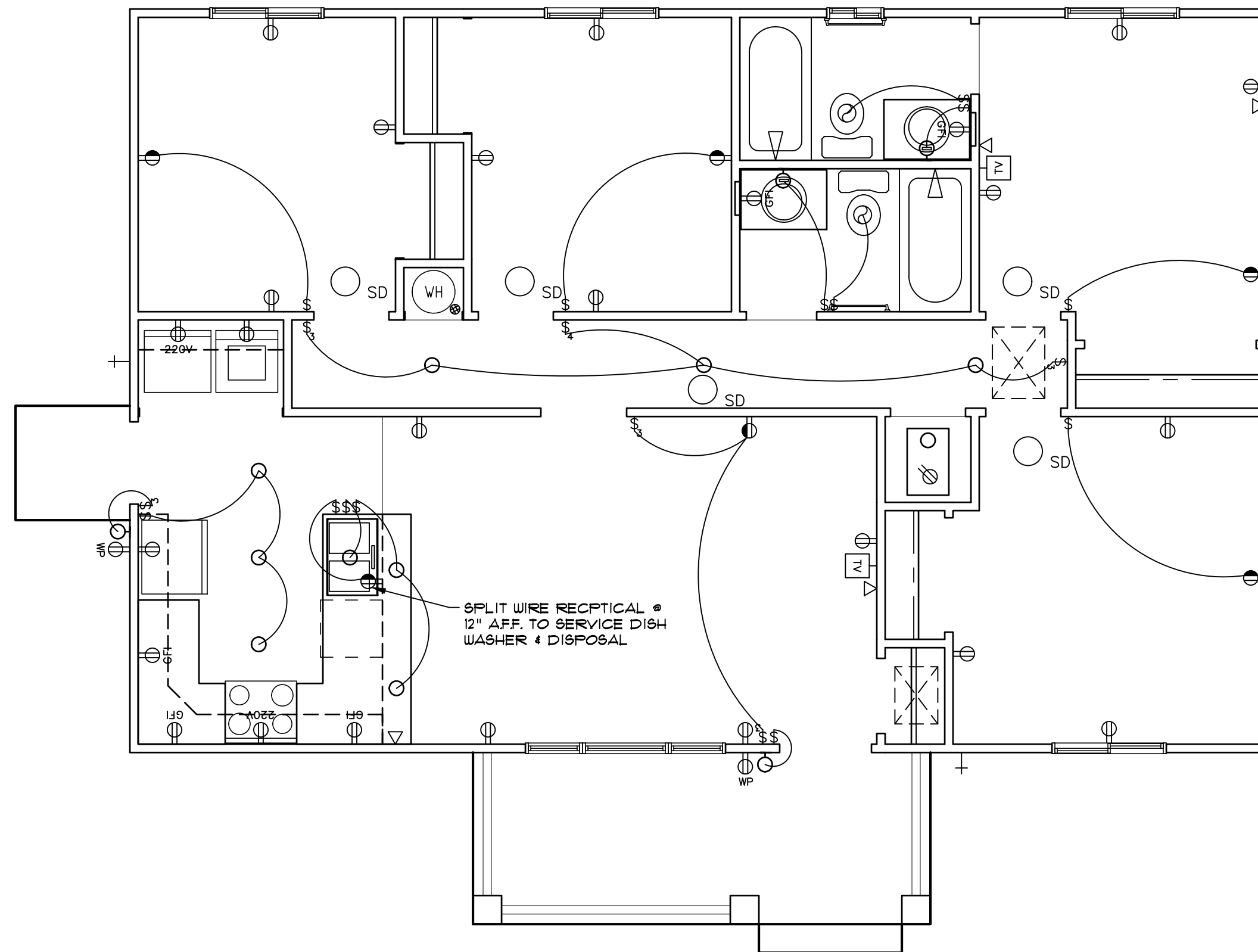
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ELECTRICAL KEY



NOTES :

- PROVIDE AND INSTALL INTO AN UNSWITCHED BRANCH CIRCUIT, SMOKE DETECTORS AS LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (I.R.C.) SECTION R314 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (G.F.I.'S) PER NATIONAL ELECTRIC CODE OR AS REQUIRED BY GOVERNING LOCAL CODES.
- ALL BRANCH CIRCUITS TO BE COPPER ONLY
- PROVIDE AND INSTALL ARC FAULT CIRCUIT INTERRUPTERS (A.F.I.) IN ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN THE DWELLING UNIT PER NATIONAL ELECTRIC CODE OR AS REQUIRED BY GOVERNING LOCAL CODES.
- PROVIDE AND INSTALL IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE (I.R.C.) SECTION R315 CARBON MONOXIDE ALARMS OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- RECESSED LIGHTING FIXTURES, WHEN INSTALLED IN THE BUILDING ENVELOPE, RECESSED LIGHTING FIXTURES SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS:
 - TYPE IC RATED, MANUFACTURED WITH NO PENETRATIONS BETWEEN THE INSIDE OF THE RECESSED FIXTURE AND CEILING CAVITY AND SEALED OR GASKETED TO PREVENT AIR LEAKAGE INTO THE UNCONDITIONED SPACE.
 - TYPE IC OR NON-IC RATED, INSTALLED INSIDE A SEALED BOX CONSTRUCTED FROM A MINIMUM 0.5-INCH-THICK GYPSUM WALLBOARD OR CONSTRUCTED FROM PREFORMED POLYMERIC VAPOR BARRIER OR OTHER AIR-TIGHT ASSEMBLY MANUFACTURED FOR THIS PURPOSE, WHILE MAINTAINING REQUIRED CLEARANCES OF NOT LESS THAN 0.5 INCH FROM COMBUSTIBLE MATERIAL AND NOT LESS THAN 3 INCHES FROM INSULATION MATERIAL.
 - TYPE IC RATED, IN ACCORDANCE WITH ASTM E 283 ADMITTING NO MORE THAN 2.0 CUBIC FEET PER MINUTE OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. THE LIGHTING FIXTURE SHALL BE TESTED AT 1.57 POUNDS PER SQUARE INCH (PSI) PRESSURE DIFFERENCE AND SHALL BE LABELED.



1 ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

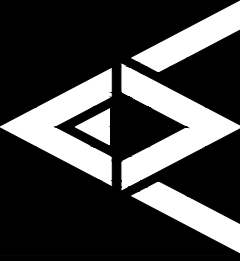
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ELECTRICAL
PLAN

sheet no.
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